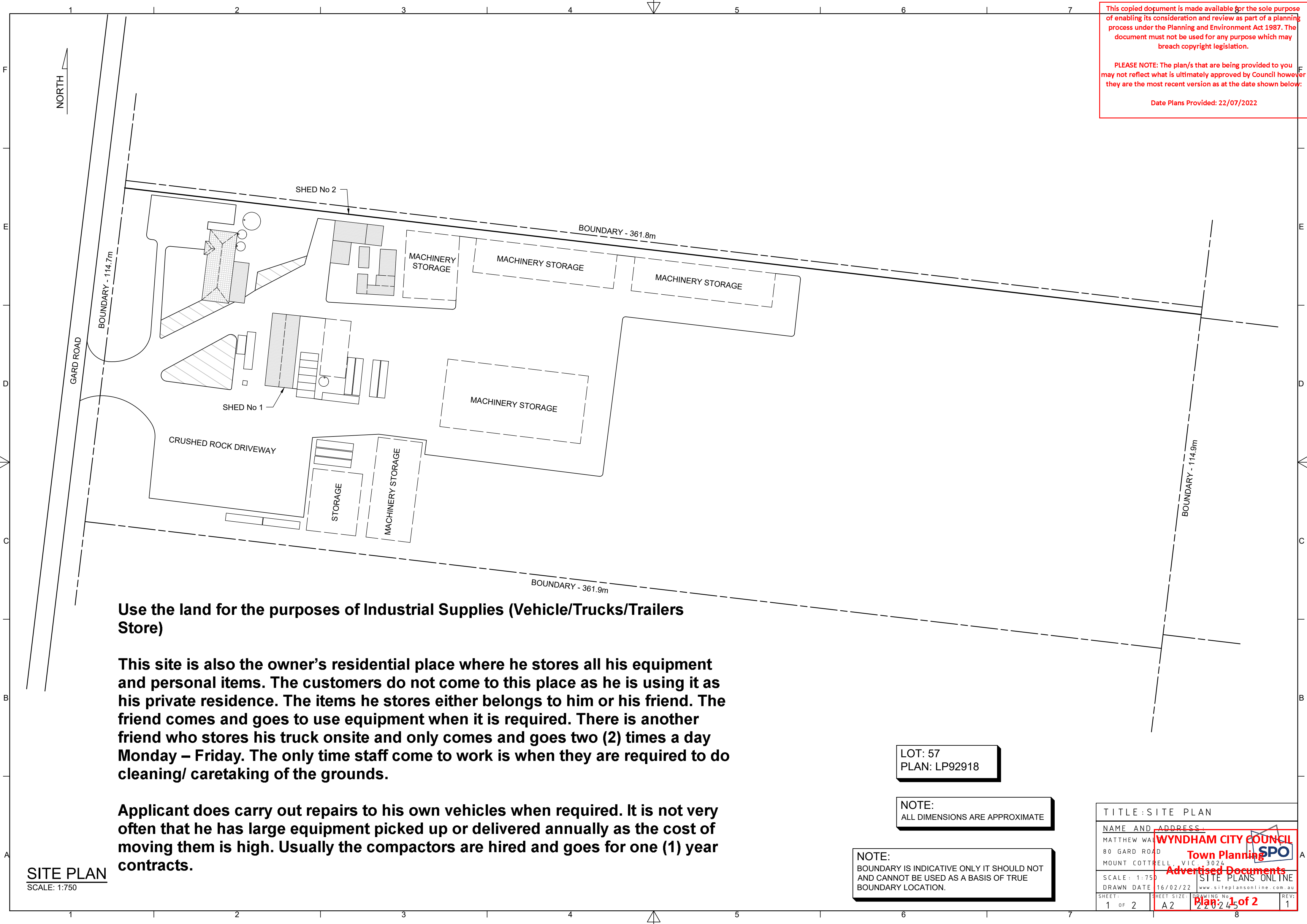


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PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date Plans Provided: 22/07/2022



Use the land for the purposes of Industrial Supplies (Vehicle/Trucks/Trailers Store)

This site is also the owner's residential place where he stores all his equipment and personal items. The customers do not come to this place as he is using it as his private residence. The items he stores either belongs to him or his friend. The friend comes and goes to use equipment when it is required. There is another friend who stores his truck onsite and only comes and goes two (2) times a day Monday – Friday. The only time staff come to work is when they are required to do cleaning/ caretaking of the grounds.

Applicant does carry out repairs to his own vehicles when required. It is not very often that he has large equipment picked up or delivered annually as the cost of moving them is high. Usually the compactors are hired and goes for one (1) year contracts.

LOT: 57
PLAN: LP92918

NOTE:
ALL DIMENSIONS ARE APPROXIMATE

NOTE:
BOUNDARY IS INDICATIVE ONLY IT SHOULD NOT
AND CANNOT BE USED AS A BASIS OF TRUE
BOUNDARY LOCATION.

SITE PLAN
SCALE: 1:750

TITLE : SITE PLAN			
NAME AND ADDRESS:			
MATTHEW WALLACE			
80 GARD ROAD			
MOUNT COTTRELL, VIC. 3024			
SCALE: 1:750	SITE PLANS ONLINE		
DRAWN DATE: 16/02/22	www.siteplansonline.com.au		
SHEET: 1 OF 2	SHEET SIZE: A2	DRAWING No: 220245	REV: 1



PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

