

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.
THE OWNER / BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIAL AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, TOWN PLANNING REQUIREMENTS, REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
ALL WORKS SHALL COMPLY WITH BUT NOT LIMIT ITSELF TO THE FOLLOWING AUSTRALIAN STANDARDS
A.S 1288 - 2006 GLASS IN BUILDING-SELECTION AND INSTALLATION.
A.S 1562 - 1996/1999 DESIGN & INSTALLATION OF THE SHEET ROOF & WALL CLADDING.
A.S 1684 - 2010 NATIONAL TIMBER FRAMING CODE.
A.S 1860 - 1991 INSTALLATION OF PARTICLEBOARD FLOORING.
A.S 2049 - 2002 ROOF TILES.
A.S 2050 - 2002 FIXING OF ROOFING TILES.
A.S 2870 - 1996 (PTI) RESIDENTIAL SLABS AND FOOTINGS.
A.S 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS.
A.S 3600 - 2001 CONCRETE STRUCTURES.
A.S 3680 - 1995 CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN THE PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES.
A.S 3700 - 2001 MASONRY IN BUILDINGS.
A.S 3740 - 2004 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
A.S 3786 - 1993 SMOKE ALARMS.
A.S 4055 - 2006 WIND LOADINGS FOR HOUSING.
A.S 4100 - 1998 STEEL STRUCTURES.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

SOIL CLASSIFICATION
SOIL REPORT OR BUILDER TO VERIFY CLASSIFICATION.
THESE PLANS SHALL BE READ IN CONJUNCTION WITH SOIL REPORT FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT. THE H.G.F.L RECOMMENDS THAT FOOTINGS / SLABS & DRAINAGE BE DESIGNED & INSPECTED BY AN ENGINEER TO SATISFY THEIR REQUIREMENTS.

WHERE THE BUILDER (OTHER THAN CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
1. ALL ROOMS WITHIN 500mm VERTICAL OF THE FLOOR.
2. BATHROOMS WITHIN 1500mm VERTICAL FROM THE BATH BASE.
3. LAUNDRY WITHIN 1200mm VERTICAL FROM FLOOR AND / OR WITHIN 1300mm HORIZONTAL FROM DOORS
4. DOORWAY WITHIN 300mm HORIZONTAL FROM ALL DOORS, SHOWER SCREENS SHALL BE SAFETY GLASS.
WINDOW SIZES ARE NORMAL ONLY ACTUAL SIZES WILL VARY ACCORDING TO MANUFACTURER, WINDOW TO BE FLASHED ALL ROUND.
STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS.
FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND BASEMENT LINES.
FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES AND STEEL LINTELS ETC. ARE IMBEDDED.

ALL WET AREAS TO COMPLY WITH BCA F1.7 OR AS 3740 - 2004. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 1500mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.
PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CENTRES IN EACH DIRECTION AND WITHIN 300mm FOR ARTICULATION JOINTS.
PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OG 150mm FOR FLOOR OR 200mm FOR FLOORS WITH PARTICLEBOARD FLOORING.
FOR NEW DWELLINGS OR ADDITIONS TO DWELLINGS PROVIDE THERMAL INSULATION AS FOLLOWS:
TIMBER FLOOR CONSTRUCTION: R1 BULK INSULATION TO EXTERNAL WALLS.
R2.5 BULK INSULATION TO ROOF.
SLAB FLOOR CONSTRUCTION R1.3 DOUBLE SIDED RFL TO EXTERNAL WALLS.
REFER B.C.A VICTORIAN APPENDIX PART 6 RFL TO COMPLY WITH AS 1904 AND HAVE A FLAMMIBILITY INDEX OF NOT MORE THAN 5.

STAIR REQUIREMENTS
RISERS - 190mm MAXIMUM, 115mm MINIMUM
TREADS - 355mm MAXIMUM, 250 MINIMUM
FOR PUBLIC STAIRS RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.
PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING.
ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125mm OR USE CLOSED RISERS.
PROVIDE CONTINUOUS HANDRAIL 1000mm MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL 865mm MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSINGS AND LANDINGS.
MAXIMUM OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125mm.

CONCRETE STUMPS
THE BUILDER SHOULD TAKE ALL STUMPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.

LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3788 - 1993 AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2, 3 OR 4 OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRE WITH BATTERY BACKUP.
PROVIDE WEEP HOLES AT 960mm MAX CTS WITH CONTINUOUS FLASHINGS WHERE BRICKWORK EXTENDS OVER OPENING.

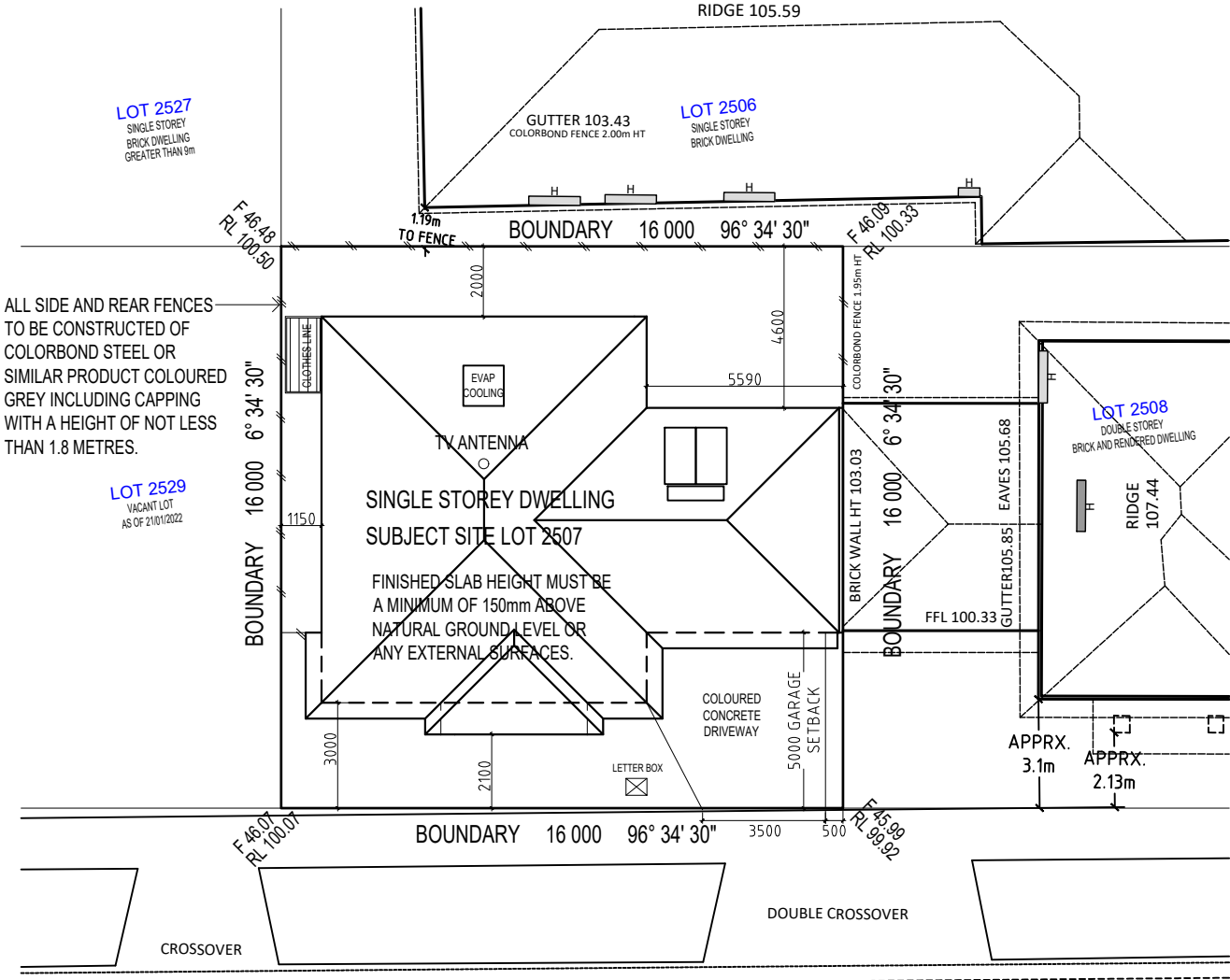
ROOF TRUSSES
ALL ROOF TRUSSES ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.

TERMITE AND CORROSION PREVENTION
WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO THE UNDERSIDE OF THE BUIDLING AND THE PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK, AS PER AS.3660.1
PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH THE BCA VOL.2 TABLE 3.3.3.2
PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH BCA VOL.2 TABLE 3.5.1

BUSHFIRE DESIGN INFORMATION
THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE BUSHFIRE ASSESSMENT REPORT FOR THE SITE. THIS REPORT REFERS TO AS.3959.2009, WHICH SPECIFIES THE NECESSARY CONSTRUCTION METHODS AND MATERIALS REQUIRED FOR EACH SITE. IF THE DRAWINGS SPECIFICATIONS DO NOT CORRELATE WITH THE BUSHFIRE REPORT - CONTACT THIS OFFICE.

OTHER GENERAL NOTES
(S) DENOTES THE LOCATION OF SMOKE ALARMS. THESE ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS.3786. THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACK UP.

(EF) DENOTES THE LOCATION OF EXHAUST FANS. DUCT ALL FANS TO OUTSIDE AIR WHERE POSSIBLE - OR, AN EXHAUST FAN OF RATING 140/3 MINTO BE DISCHARGED INTO A VENTILATED ROOF SPACE WITH MIN 1000MM HORIZONTAL DUCT - IN ACCORDANCE WITH AS.1668. EXTERNAL DISCHARGE RATE MINIMUM 251/5.



PROPOSED SITE PLAN

SCALE 1:200

PRIVATE OPEN SPACE	114.83 SQM
SECLUDED PRIVATE OPEN SPACE	25.71 SQM

DRAINAGE NOTES

MIN. 90mm DIAMETER STORMWATER DRAIN WITH 1 IN 100 FALL TO LEGAL POINT OF DISCHARGE.

PROVIDE 300mm GROUND COVER TO ALL DRAINS.

ALL DRAINAGE AND SEWERAGE PIPES ADJACENT TO BUILDING TO BE SETBACK AT A DEPTH THAT WILL NOT AFFECT ANGLE OF REPOSE

WHERE SEWERAGE AND WATER PIPES PASS THROUGH SLAB AND FOOTINGS PROVIDE SLEEVE OR LAGGING AROUND PIPES TO ALLOW RELATIVE MOVEMENT 25MM MIN. ALL AROUND

GRADING AND SITE DRAINAGE: THE AREA WITHIN 2000MM OF THE BUILDING LINE SHALL BE GRADED SO THAT WATER WILL NOT RUN AGAINST THE BUILDING

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S 3660.1.

IMPORTANT NOTE: THE LAND SURVEYOR COMMISSIONED TO SET-OUT THIS BUILDING WORK MUST ENSURE ALL SPECIFIED SET-BACKS AND BUILDING LINES (WHEN MEASURED ON SITE) CONFORM TO THIS PLAN. IF FOR ANY REASON, SITE MEASUREMENTS, BUILDING MEASUREMENTS AND REQUIRED BUILDING SETBACKS DO NOT MATCH THIS PLAN, PLEASE CONTACT THIS OFFICE IMMEDIATELY BEFORE THE COMMENCEMENT OF ANY WORK.

NOTE: ALL SITE DIMENSIONS AND SETBACK DIMENSIONS FROM SITE BOUNDARIES TO BE CHECKED FOR ACCURACY AND CONFIRMED ON SITE BY THE OWNER / BUILDER / SUBCONTRACTOR & SURVEYOR.

FINISHED SLAB HEIGHT MUST BE A MINIMUM OF 150mm ABOVE NATURAL GROUND LEVEL OR ANY EXTERNAL SURFACES.

NOTE: THE PROPOSED DWELLING MUST BE BUILT WITHIN THE SPECIFIED BOUNDARIES OF THE DEVELOPMENT AREA.

LOCATION OF SOLAR HOT WATER PANELS FOR A GAS BOOSTED SOLAR HOT WATER SYSTEM, OR A SIMILAR SYSTEM OF ENHANCED ENERGY EFFICIENCY (5 STAR INSTANTANEOUS) TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

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OTHERWISE NO EXTRA WILL BE ALLOWED FOR.

ADEQUATELY SUPPORT EXISTING STRUCTURE DURING DEMOLITION, ALTERATIONS AND CONSTRUCTION.

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PROPOSED RESIDENCE AT

LOT 2507
KRUGER
ROAD,
TARNEIT

FLOOR PLAN - CUSTOM 16

FAÇADE - CUSTOM

REVISION:	DATE:

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SYMMETRIC HOMES

26 COOK STREET
PORT MELBOURNE, VIC 3207

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TITLE:
TOWN PLANNING:
SITE PLAN

DRAWN BY: M.F. CHECKED BY: CHRIS

SCALE: 1:200 DATE: 30.06.22

SHEET No: 1 OF 7

Plan: 1 of 8

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ALL TOILET DOORS TO HAVE REMOVEABLE HINGES OUTWARDS AS SELECTED IF 1200 FROM DOOR ARC TO PAN NOT POSSIBLE.

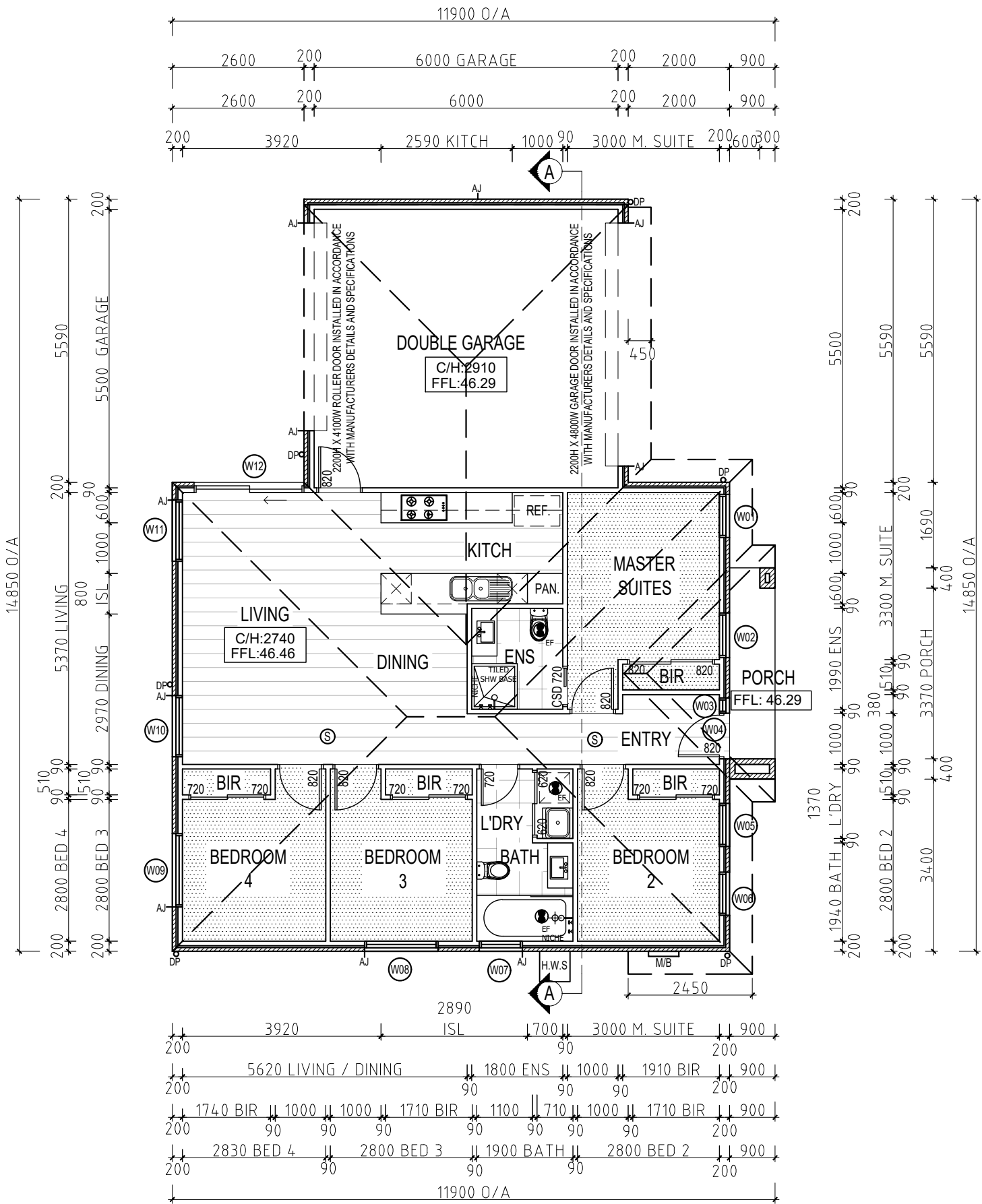
LANDING AND CONCRETE STEPS - 190 RISE X 250 TREAD TO ALL ENTRY POINTS.

PROVIDE LAMINATED GLAZING TO BATHROOM WINDOWS IN ACCORDANCE WITH RELEVANT CODES AND REGULATIONS.

FLOORING SCHEDULE

- HATCH = FLOORBOARDS
- HATCH = TILES
- HATCH = CARPET

PROPOSED
GROUND FLOOR PLAN
SCALE 1:100



NOTE: ALL WINDOWS TO BE SITE MEASURED PRIOR TO ORDERING

- Ⓢ = SMOKE DETECTORS
- Ⓜ = MECHANICAL VENTILATION

AREA SUMMARY

GARAGE	36.48 SQM
PORCH	3.75 SQM
GROUND FLOOR	101.15 SQM
TOTAL	141.38 SQM (15.21 SQUARES)
SITE AREA	246.00 SQM
SITE COVERAGE	58.22%

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Plan: 2 of 8

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PROPOSED RESIDENCE AT

LOT 2507
KRUGER
ROAD,
TARNEIT

FLOOR PLAN - CUSTOM 16

FACADE - CUSTOM

REVISION: DATE:

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TITLE:
TOWN PLANNING:
GROUND FLOOR PLAN

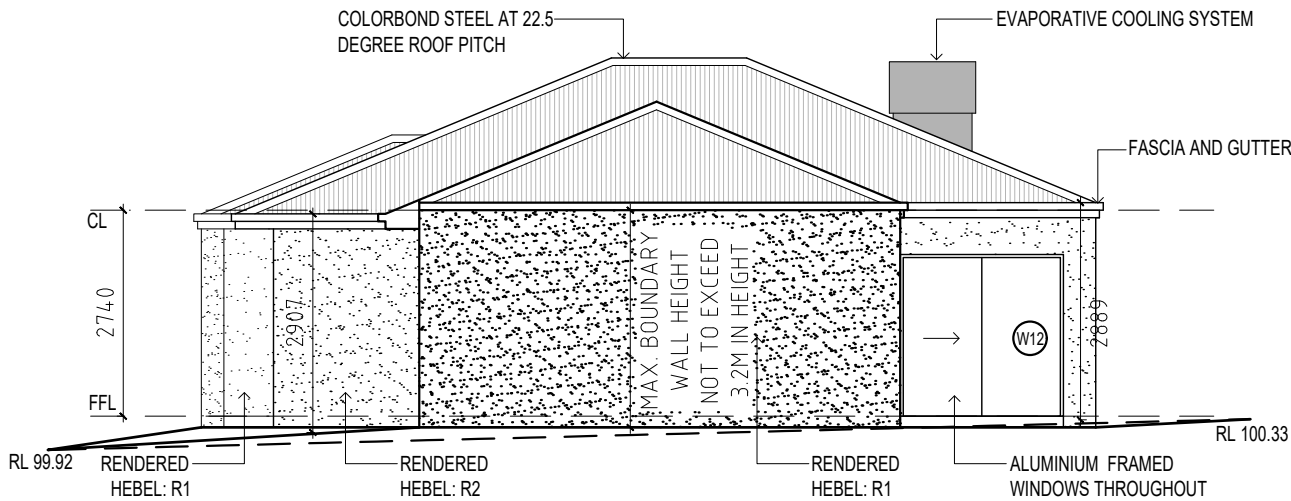
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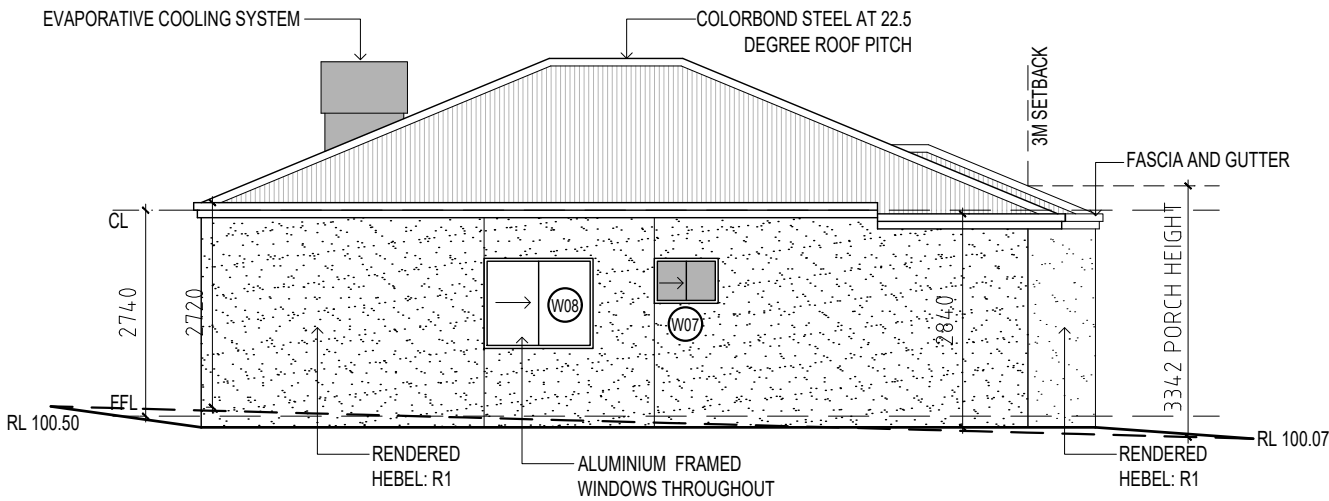
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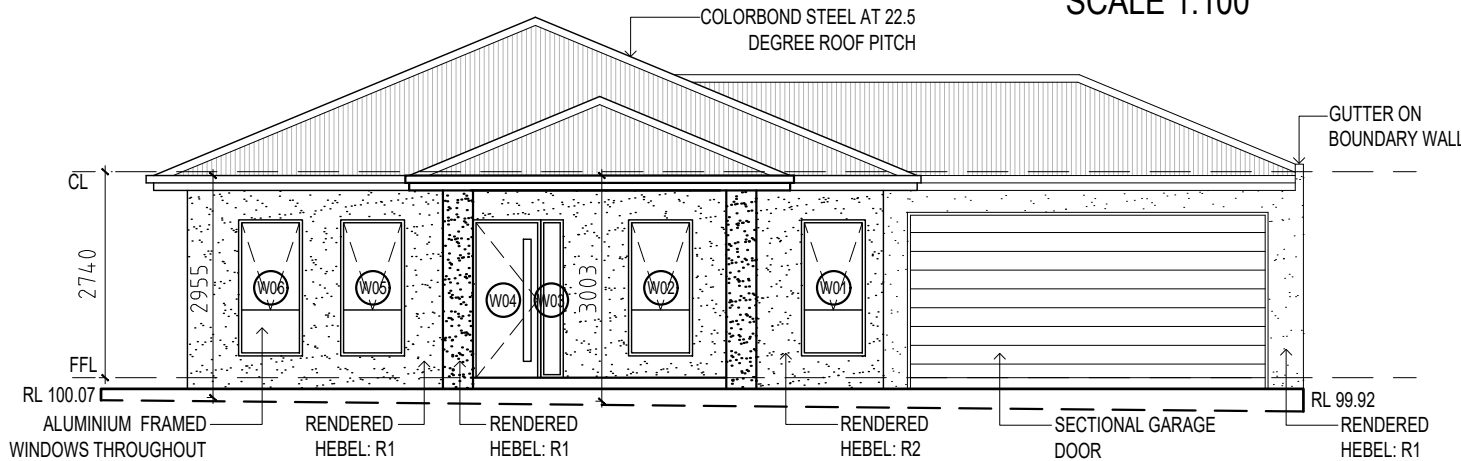
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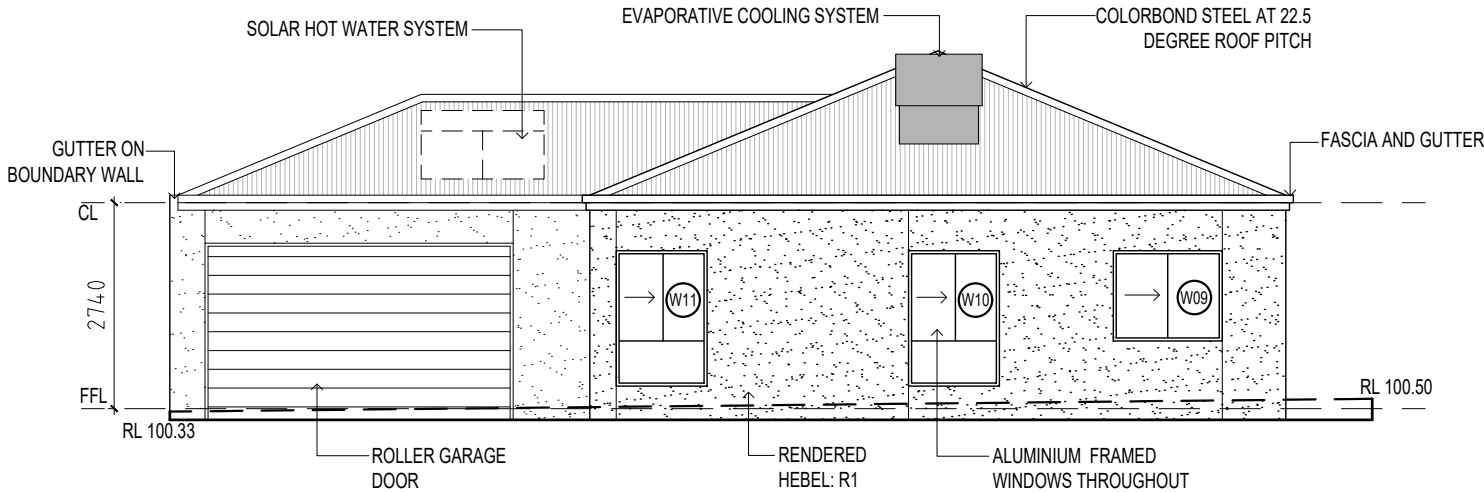
WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100

NOTE: VERTICLE ARTICULATION JOINTS SHALL BE PROVIDED IN STRAIGHT, CONTINOUS WALLS (HAVING NO OPENING) AT NOT MORE THAN 6M CENTRES AND LOCATED NO CLOSER THAN THE HEIGHT OF THE WALL AWAY FROM CORNERS. WHERE OPENINGS AT 900mm X 900mm OCCUR THEN ARTICULATION JOINTS ARE TO BE REDUCED TO 6M CENTRES AND POSITIONED IN LINE WITH AT LEAST ONE EDGE OF THE OPENING. FURTHERMORE, ARTICULATION JOINTS SHOULD BE BE PROVIDED AT OR NEAR CHANGES IN FOUNDATION SOIL, AT DEEP REBATES FOR WALLS WHERE WALLS CHANGE IN THICKNESS AND BETWEEN NEW AND OLD BRICKWORK

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PROPOSED RESIDENCE AT
**LOT 2507
KRUGER
ROAD,
TARNEIT**

FLOOR PLAN - CUSTOM 16

FACADE - CUSTOM

REVISION: DATE:

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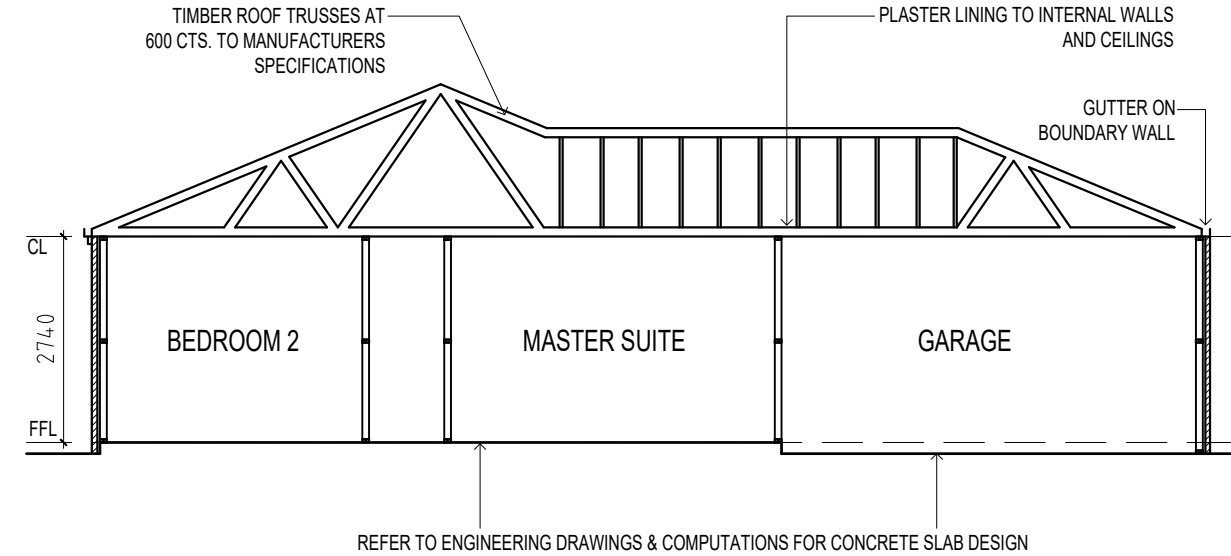
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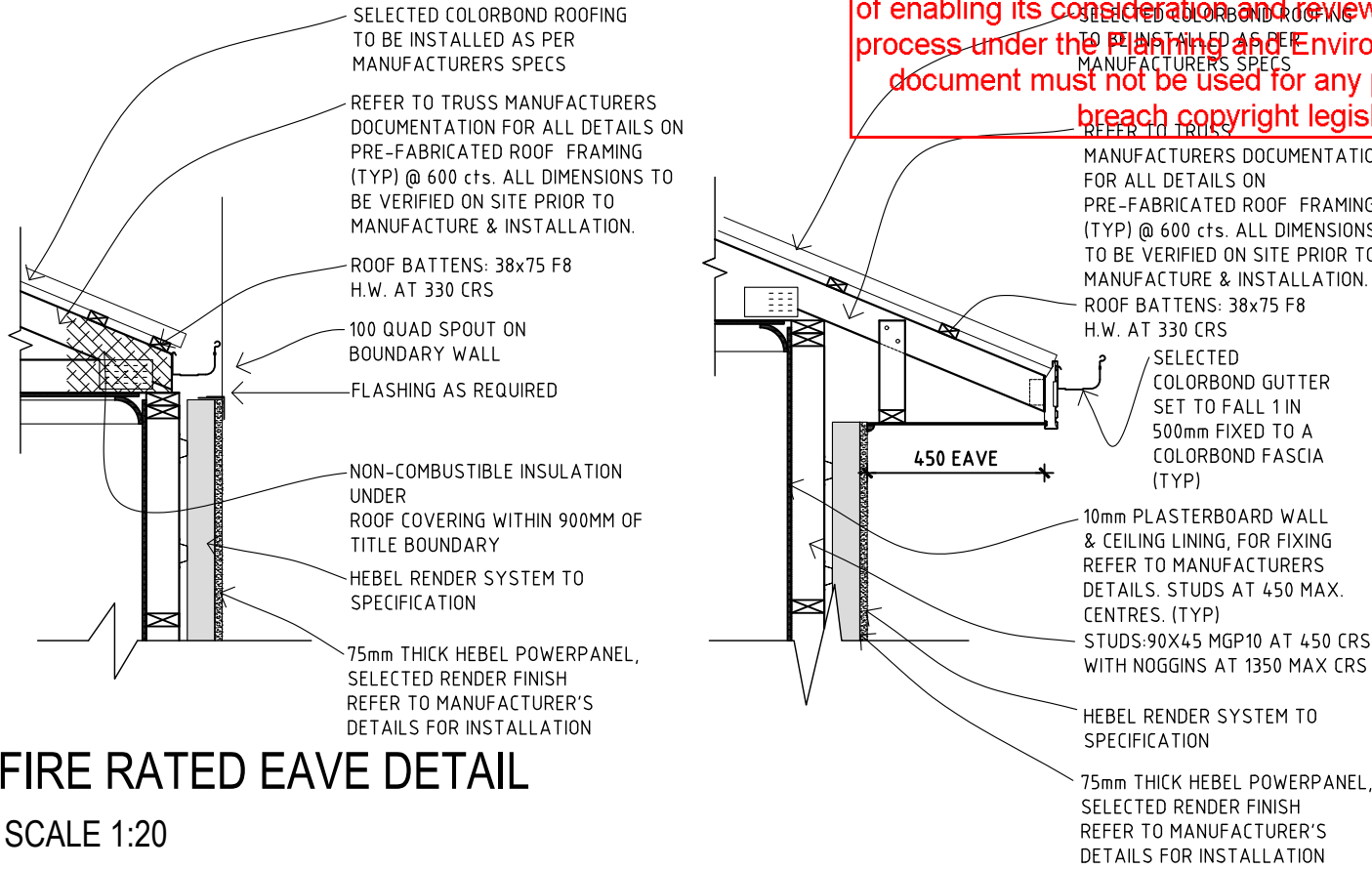
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SHEET No: 3 OF 7



TYPICAL SECTION A-A
SCALE 1:100



FIRE RATED EAVE DETAIL
SCALE 1:20

WINDOW SCHEDULE			
NO.	SIZE (HXW)	LOCATION	DESCRIPTION
W1	1800x850	M.SUITE	ALUMINIUM FRAMED CLEAR GLAZED AWNING WINDOW
W2	1800x850	M.SUITE	ALUMINIUM FRAMED CLEAR GLAZED AWNING WINDOW
W3	2340x300	ENTRY	TIMBER FRAMED CLEAR GLAZED FIXED SIDE LIGHT
W4	2040x820	ENTRY	820 TIMBER ENTRY DOOR (CHK. ON SITE)
W5	1800x850	BEDROOM 2	ALUMINIUM FRAMED CLEAR GLAZED AWNING WINDOW
W6	1800x850	BEDROOM 2	ALUMINIUM FRAMED CLEAR GLAZED AWNING WINDOW
W7	600x850	BATH	ALUMINIUM FRAMED OBSCURE GLAZED SLIDING WINDOW
W8	1200x1450	BEDROOM 3	ALUMINIUM FRAMED CLEAR GLAZED SLIDING WINDOW
W9	1200x1450	BEDROOM 4	ALUMINIUM FRAMED CLEAR GLAZED SLIDING WINDOW
W10	1800x1210	LIVING	ALUMINIUM FRAMED CLEAR GLAZED SLIDING WINDOW
W11	1800x1210	LIVING	ALUMINIUM FRAMED CLEAR GLAZED SLIDING WINDOW
W12	2150x2170	LIVING	ALUMINIUM FRAMED CLEAR GLAZED SLIDING DOOR (2 PANEL)

BUSHFIRE ATTACK LEVEL (BAL)			
PROPERTY ADDRESS: LOT 2507 KRUGER ROAD, TARNEIT			
1	DETERMINE THE FIRE DANGER INDEX. (FDI)	50 OR 100	50
2	DETERMINE THE SITE VEGETATION TYPES	A-G	REFER BELOW NOTE 1
3	DETERMINE THE DISTANCE FROM THE SITE TO THE VEGETATION	(METRES)	
4	DETERMINE THE SLOPE OF THE LAND UNDER THE VEGETATION	UPSLOPE OR DOWNSLOPE ANGLE OF SLOPE	
5	DETERMINE THE BAL	FD 100 OR FD 50	BAL - LOW

NOTE 1: VEGETATION WOULD BE CLASSIFIED AT THE LOWEST BUSHFIRE ATTACK LEVEL BAL-LOW IF IT IS ONE OR A COMBINATION OF THE FOLLOWING:

- VEGETATION THAT IS MORE THAN 100 METRES FROM THE SITE.
- SINGLE AREAS OF VEGETATION LESS THAN 1 HECTARE IN AREA AND NOT WITHIN 100 METRES OF OTHER CLASSIFIED VEGETATION.
- MULTIPLE AREAS OF VEGETATION LESS THAN 0.25 HECTARES IN AREA AND NOT WITHIN 20 METRES OF THE SITE OR EACH OTHER.
- STRIPS OF VEGETATION LESS THAN 20 METRES IN WIDTH AND NOT WITHIN 20 METRES OF THE SITE OR OTHER AREAS OF CLASSIFIABLE VEGETATION.

- NON VEGETATED AREAS INCLUDING WATERWAYS, ROADS, FOOTPATHS, BUILDINGS OR ROCK OUTCROPS.
- LOW THREAT VEGETATION INCLUDING MANAGED GRASSLANDS, MAINTAINED LAWNS, GOLF COURSES & PUBLIC RESERVES.

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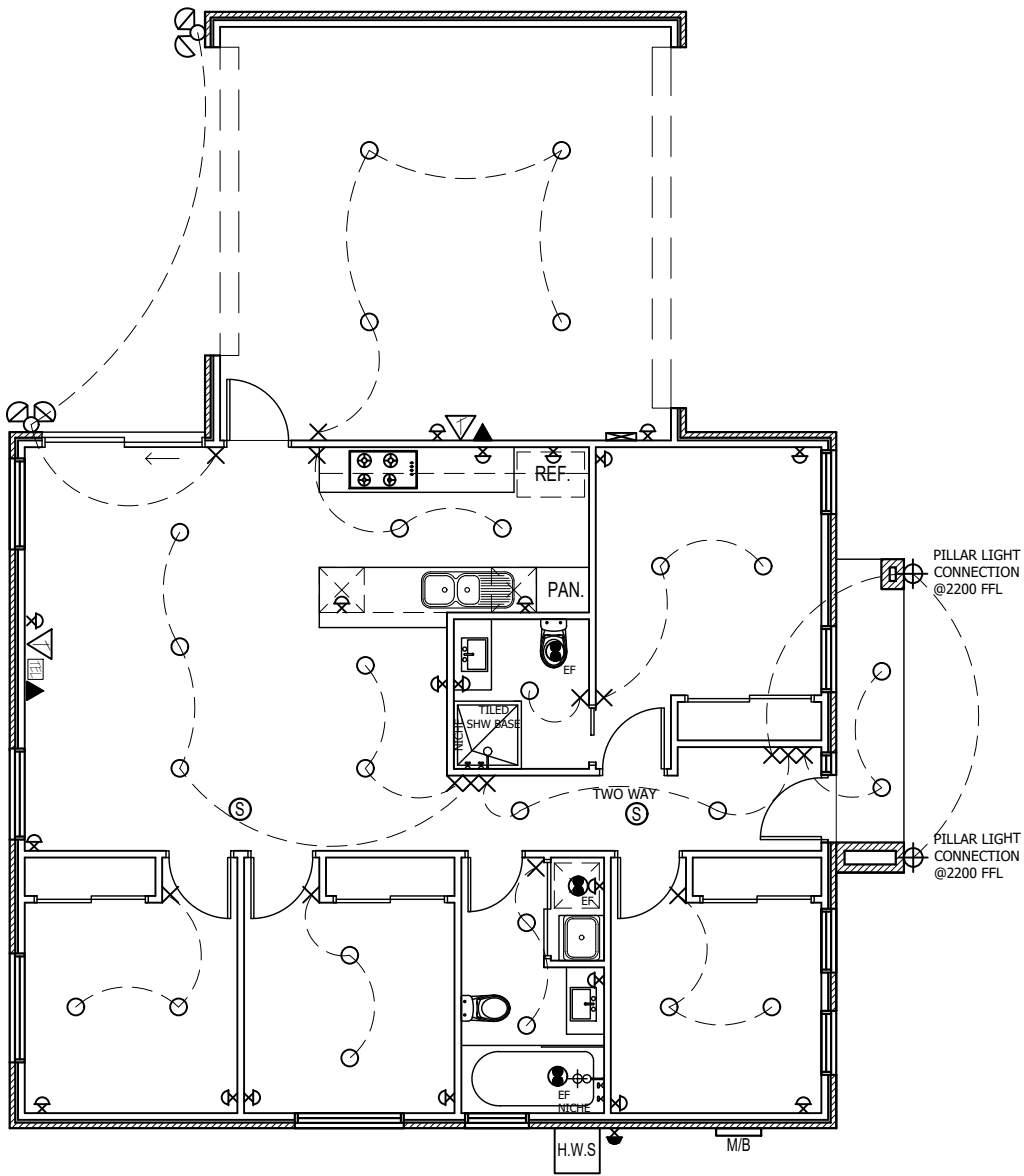
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4			
SHEET No:	4 OF 7		

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Town Planning

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ELECTRICAL LEGEND

- DOUBLE GPO
- DOUBLE GPO (WATERPROOF)
- EXHAUST FAN
- DOWNLIGHT
- TYPICAL INCANDESCENT (BATTEN) LIGHT BULB
- FLOOD LIGHT
- TELEVISION POINT
- TELEPHONE JACK
- WIRING
- SMOKE DETECTOR
- SWITCH POINTS
- NBN
- DATA POINT

ELECTRICAL SCHEDULE

INTERNAL	5W	NUMBER	WATTS	
ENTRY & HALLWAY		2	28	
MASTER BEDROOM		2	28	
ENSUITE		1	14	
BEDROOM 2		2	28	
BEDROOM 3		2	28	
BEDROOM 4		2	28	
W.C/BATH/LDRY		2	28	
MEALS/FAMILY		5	70	
KITCHEN		2	28	
TOTAL			280	
SQM	100.95	TOTAL ALLOWABLE WATTS:		504.75

ELECTRICAL SCHEDULE

EXTERNAL	4W	NUMBER	WATTS
PORCH		2	28
TOTAL			38
SQM	4.66	TOTAL ALLOWABLE WATTS:	
			18.64

ELECTRICAL SCHEDULE

GARAGE 3W		NUMBER	WATTS
GARAGE		4	56
TOTAL			56
SQM 36.48	TOTAL ALLOWABLE WATTS:		109.44

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PROPOSED RESIDENCE AT

LOT 2507
KRUGER
ROAD,
TARNEIT

FLOOR PLAN - CUSTOM 16

FACADE - CUSTOM

REVISION: DATE:

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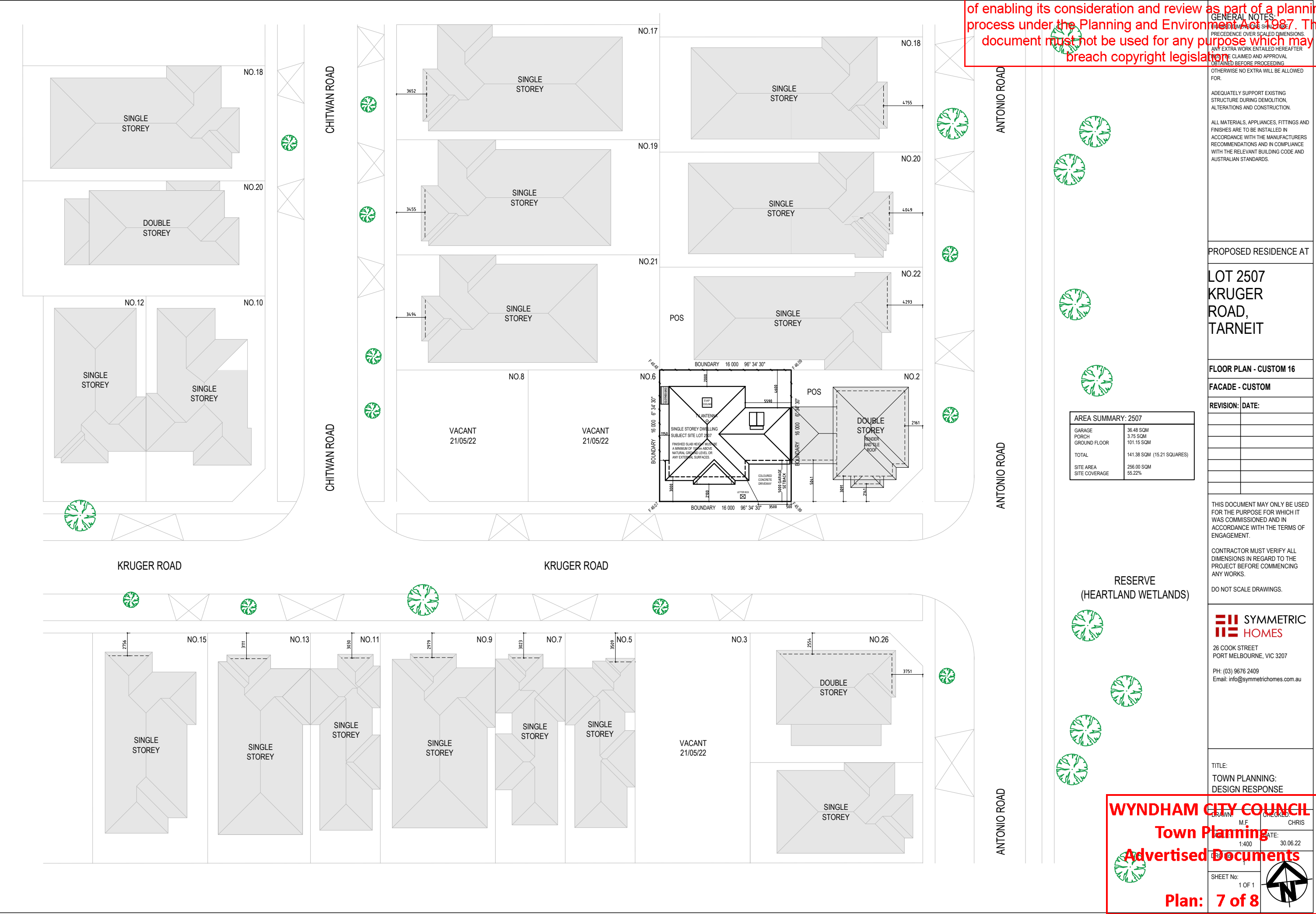
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


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ELECTRICAL FLOOR PLAN

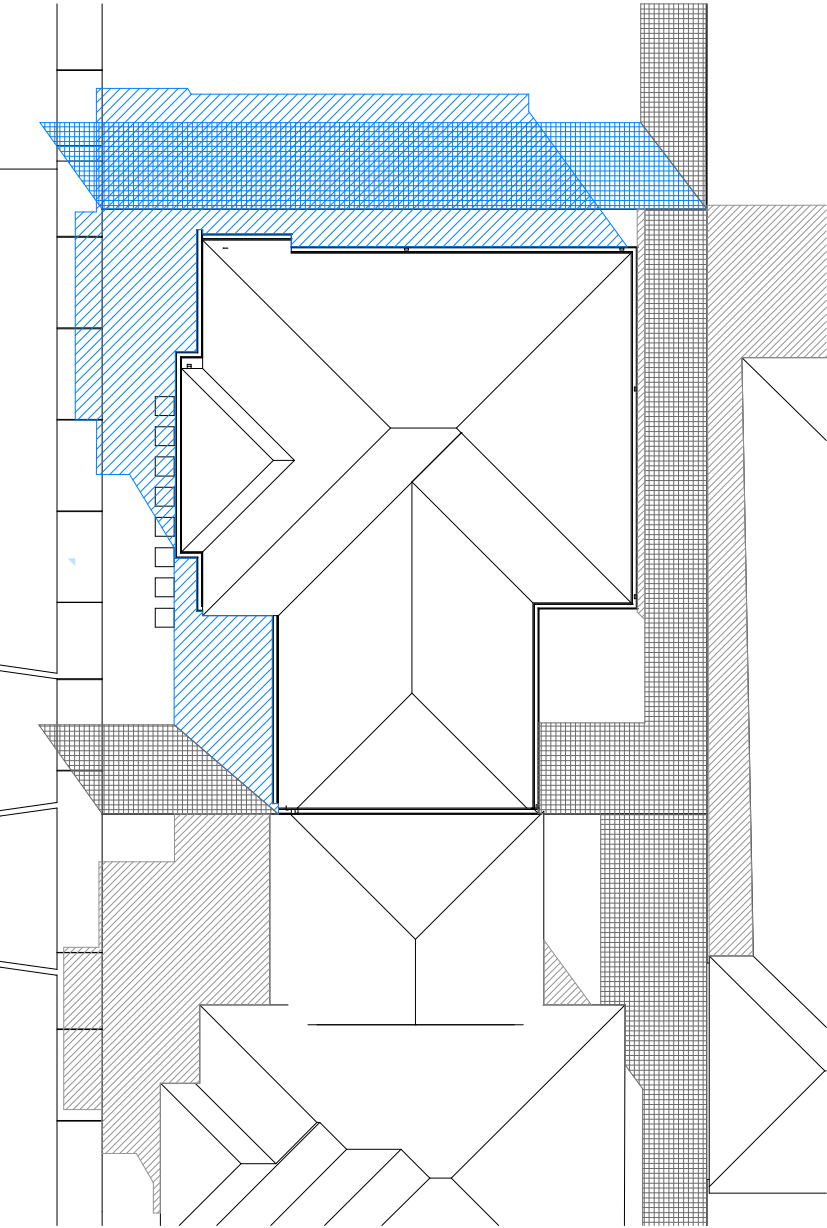
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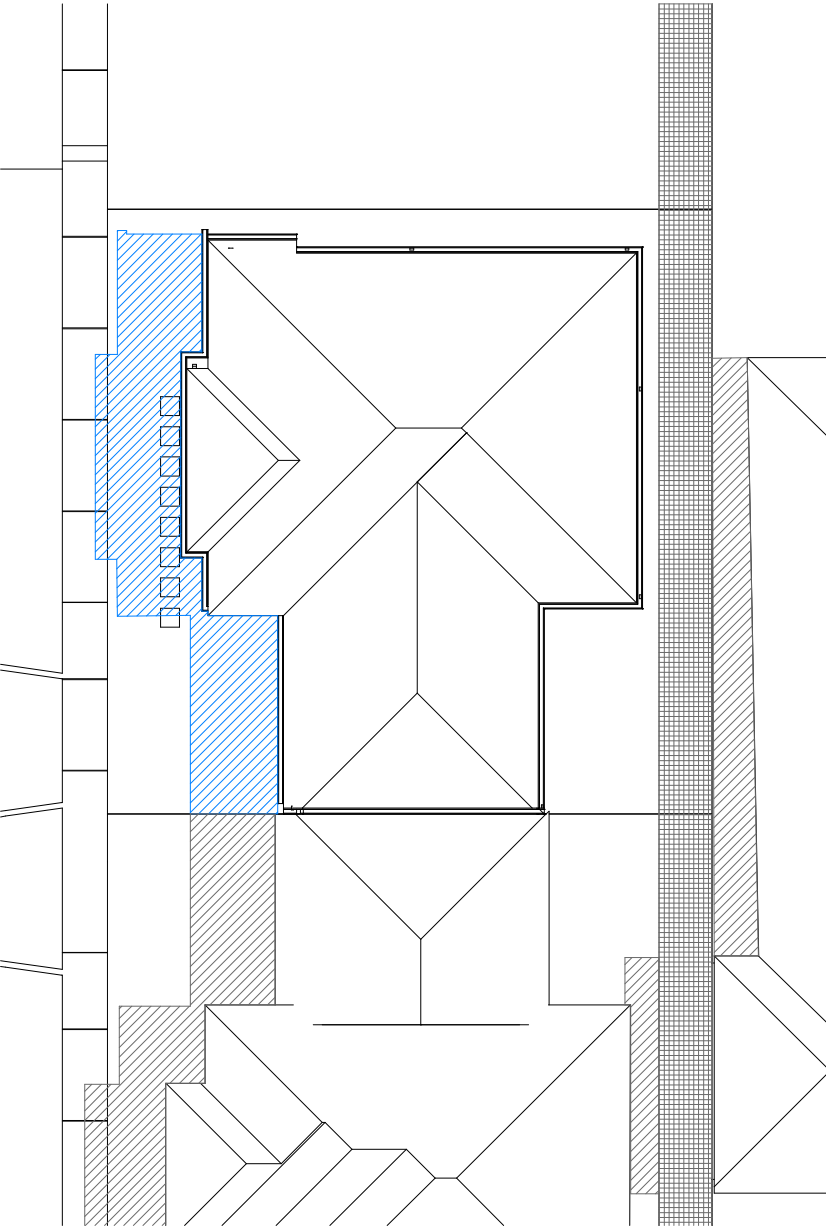
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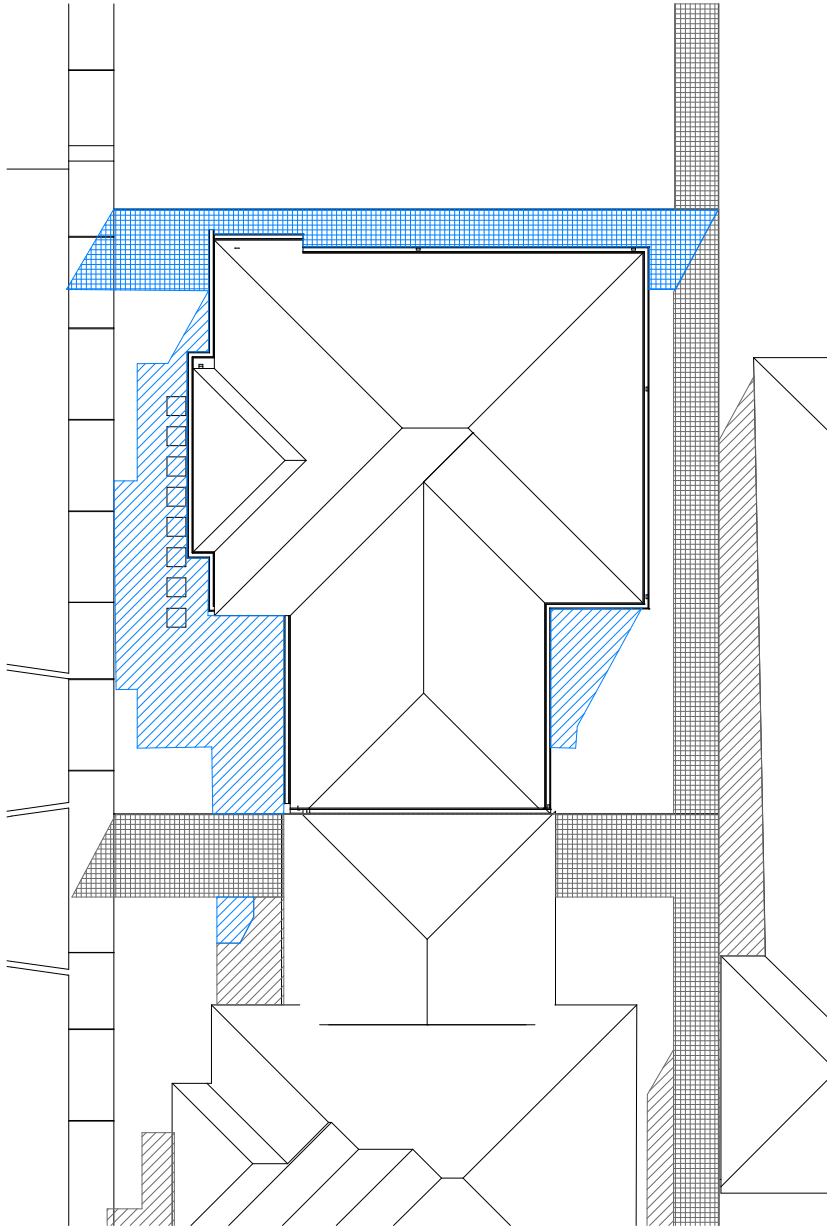
-  PROPOSED DWELLING SHADOW
-  PROPOSED FENCE SHADOWS
-  EXISTING DWELLING SHADOWS
-  EXISTING FENCE SHADOW



D01 | 9AM SHADOWS
1:200



D02 | 12PM SHADOWS
1:200



D03 | 3PM SHADOWS
1:200

SHADOW DIAGRAMS
SCALE 1:200

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PROPOSED RESIDENCE AT

LOT 2507
KRUGER
ROAD,
TARNEIT

FLOOR PLAN - CUSTOM 16

FACADE - CUSTOM

REVISION:	DATE:

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HOMES
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PORT MELBOURNE, VIC 3207
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Email: info@symmetrichomes.com.au

TITLE:
SHADOW DIAGRAMS

WYNDHAM CITY COUNCIL
Town Planning
Advertised Documents
Plan: 8 of 8

DRAWN: CHECKED:

SCALE: 1:200 DATE: 23.05.22

SHEET No: 