

PROPOSED NEW RESIDENCE
at
Lot 58 Mantello Drive, Werribee, Vic, 3030.
for:
Persaud Homes.

GENERAL NOTES:

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2006, THE BUILDING CODE OF AUSTRALIA, LOCAL BY-LAWS, TOWN PLANNING REQUIREMENTS AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT, FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE DRAWINGS WITHOUT THE DESIGNERS WRITTEN CONSENT DOES SO AT THEIR OWN RISK - AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT, AND WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

DO NOT SCALE THIS DRAWING - FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS AND CONTRACTORS TO VERIFY ALL DIMENSIONS, LEVELS, BUILDING ENVELOPES, AREAS AND SPECIFICATIONS PRIOR TO THE ORDERING OF ANY MATERIALS OR THE COMMENCEMENT OF ANY WORKS. IF DISCREPANCIES OCCUR - CONTACT THIS OFFICE IMMEDIATELY.
-ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED. ALL SITE LEVELS ARE IN METERS, UNLESS OTHERWISE INDICATED.
-THE BUILDER MUST TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING STRUCTURES DURING ALL CONSTRUCTION WORKS.
-THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE.
INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL, QUOTATION OR TO BE USED BY BUILDERS. WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS, SPECIFICATIONS AND COMPUTATIONS AND ALL OTHER DOCUMENTATION PROVIDED.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

GLAZING:
-ALL GLAZING MUST COMPLY WITH AS.1288
-ALL GLAZING MUST BE INSTALLED TO COMPLY WITH AS.1288
ALL GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:
- BCA PART 3.6 FOR CLASS 1 & 10 BUILDINGS WITH A DESIGN WIND SPEED OF NOT MORE THEN N3, AND BCA PART B1.4 FOR CLASS 2-9 BUILDINGS.
-WINDOW SIZES TO BE VERIFIED ON SITE PRIOR TO ORDERING.
-WINDOW MEASUREMENT INDICATED MAY VARY FROM MANUFACTURERS SIZES. BUILDER TO PLACE ORDER WITH SELECTED WINDOW MANUFACTURER BASED ON MANUFACTURERS SIZES WITHIN CLOSE PROXIMITY OF THE SCHEDULED SIZE.

-ALL MASONRY CONSTRUCTION TO COMPLY WITH AS.3700 AND THE BUILDING CODE OF AUSTRALIA.
-ALL DAMP PROOF COURSES AND FLASHINGS MUST BE IN ACCORDANCE WITH AS.2904.
-STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS.4100.
-ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS.1684. PROVIDE DOUBLE STUDS TO ALL OPENINGS GREATER THEN 1500mm.
-PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS.1684.

SUB- FLOOR VENTS TO PROVIDE A RATE OF 6000mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF INTERNAL DWARF WALLS. ALL SUB-FLOOR PLYNTH BOARDS TO BE LOCATED BELOW THE LEVEL OF THE BEARER.

CONVENTIONAL TIMBER FLOOR CONSTRUCTION TO ENGINEERS DETAILS & COMPUTATIONS PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOORS WITH STRIP FLOORING AND 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING. REFER TO PART 3.4.1 DIAGRAM B OF TH BCA FOR SUB-FLOOR VENTILATION DETAILS.

ROOF TRUSSES:
ALL ROOF TRUSSES ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.

STAIRS, LANDINGS & BALUSTRADES:
STEP SIZES (OTHER THEN SPIRAL STAIRS) TO BE:
-RISERS (R) AT 190mm MAXIMUM AND 115mm MINIMUM
-GOING (G) 355mm MAXIMUM AND 240mm MINIMUM
-GAPS BETWEEN RISERS TO NOT EXCEED 125mm
ALL TREADS, LANDINGS AND THE LIKE TO HAVE A NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EACH NOSING.
PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BALUSTRADES (OTHER THEN WIRE) TO BE:
-1000mm ABOVE FINISHED SURFACE LEVEL OR BALCONIES AND LANDINGS OR THE LIKE, AND 865mm MIN ABOVE FINISHED SURFACE LEVEL OF STAIR NOSINGS OR RAMP.
-VERTICAL WITH LESS THEN 125mm GAP BETWEEN.
-ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FINISHED SURFACE LEVEL MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS OR TREADS.
WIRE BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA VOL.2 PART 3.9.2.3 FOR CLASS 1-10 BUILDINGS AND BCA VOL.1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
LANDINGS NEED ONLY BE PROVIDED WHERE A DOORWAY OPENS ONTO A STAIR THAT PROVIDES A CHANGE IN FLOOR LEVEL GREATER THEN 570mm.

INSULATION:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH APPROVED STAMPED PLANS WHICH HAVE BEEN ASSESSED BY AN ACCREDITED THERMAL ASSESSOR. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT.

TERMITE AND CORROSION PREVENTION:
WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO THE UNDERSIDE OF THE BUILDING AND THE PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK, AS PER AS.3660.1
PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH BCA VOL.2 TABLE 3.3.3.2.
PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH BCA VOL.2 TABLE 3.5.1.
BUSHFIRE DESIGN INFORMATION:
THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE BUSHFIRE ASSESSMENT REPORT FOR THE SITE. THIS REPORT REFERS TO AS.3959.2009, WHICH SPECIFIES THE NECESSARY CONSTRUCTION METHODS AND MATERIALS REQUIRED FOR EACH SITE. IF THE DRAWING SPECIFICATIONS DO NOT CORRELATE WITH THE BUSHFIRE REPORT - CONTACT THIS OFFICE.
STORM WATER AND DRAINAGE:
STORM WATER DRAINS TO BE CONNECTED TO THE EXISTING LEGAL POINT OF DISCHARGE OR AS DIRECTED BY COUNCILS ENGINEERING DEPARTMENT. INSPECTION OPENINGS TO BE AT 9000mm CTRS AND AT EACH CHANGE OF DIRECTION.

PROVIDE 100mm DIA UPVC PIPES
PROVIDE 75mm DIA DOWNPIPES
PROVIDE A MINIMUM FALL GRADIENT OF 1:100
BASE OF PIPES TO HAVE CRUSHED ROCK WITH A MINIMUM OF 50mm COVER. THE COVER TO UNDERGROUND STORM WATER DRAINS TO BE NOT LESS THAN:
100mm UNDER SOIL
50mm UNDER PAVED OR CONCRETE AREAS
100mm UNDER UN-REINFORCED CONCRETE OR PAVED DRIVEWAYS
75mm UNDER REINFORCED CONCRETE DRIVEWAYS
ALL BOX GUTTERS TO BE A MINIMUM OF 100mm x 200mm UNLESS OTHERWISE SPECIFIED - 1:100 GRADE MINIMUM - ADJUST TO SUIT ON SITE.
SEWER AND SEPTIC SYSTEMS TO BE IN ACCORDANCE WITH AS.3500
ALL SURFACE WATER RUN-OFF MUST BE CONTAINED WITHIN THE PROPERTY BOUNDARIES AND DISCHARGED TO THE STORM WATER SYSTEM.
THE BUILDER AND SUB-CONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWERS AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

WATERPROOFING:
WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS.3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
OTHER GENERAL NOTES:
(SA) DENOTES THE LOCATION OF SMOKE ALARMS. THESE ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS.3786. THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACK-UP.
(EF) DENOTES THE LOCATION OF EXHAUST FANS. DUCT ALL EXHAUST FANS TO OUTSIDE AIR WHERE POSSIBLE - OR, AN EXHAUST FAN OF RATING 140/S MIN TO BE DISCHARGED INTO A VENTILATED ROOF SPACE WITH MIN 1000mm HORIZONTAL DUCT - IN ACCORDANCE WITH AS.1668. EXTERNAL DISCHARGE RATE MINIMUM 25l/s.

SANITARY COMPARTMENT DOORS MUST EITHER - OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE UNLESS A MINIMUM CLEARANCE OF 1200mm BETWEEN THE DOOR AND THE PAN IS ACHIEVED.

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Date Plans Provided: 5/07/2017

WINDOW SCHEDULE

NO.	SIZE (hwxw)	HEAD HEIGHT	LOCATION	DESCRIPTION
W1	2100x820	2100 a.f.l	Entry	820 Timber Framed entry door (chk. on site)
W2	2100x600	under eave	Bedroom 2	Aluminum framed clear glazed awning window
W3	2100x600	under eave	Bedroom 2	Aluminum framed clear glazed awning window
W4	1200x1500	2100 a.f.l	Bathroom	Aluminum framed obscure glazed sliding window
W5	1000x600	2100 a.f.l	Wc	Aluminum framed obscure glazed sliding window
W6	1200x1500	2100 a.f.l	Bedroom 3	Aluminum framed clear glazed sliding window
W7	1200x1500	2100 a.f.l	Bedroom 4	Aluminum framed clear glazed sliding window
W8	1800x1800	2100 a.f.l	Dining/Family	Aluminum framed clear glazed sliding window
W9	600x1800	2100 a.f.l	Dining/Family	Aluminum framed clear glazed sliding window
W10	2100x1800	2100 a.f.l	Dining/Family	Aluminum framed clear glazed sliding door (2 panel)
W11	1200x1500	2100 a.f.l	Kitchen	Aluminum framed clear glazed sliding window
W12	1800x900	2100 a.f.l	Master Bed	Aluminum framed clear glazed sliding window
W13	1800x900	2100 a.f.l	Master Bed	Aluminum framed clear glazed sliding window
W14	1000x600	2100 a.f.l	Ensuite	Aluminum framed obscure glazed sliding window
W15	2100x1450	2100 a.f.l	Laundry	Aluminum framed clear glazed sliding door (2 panel)

NOTE: WINDOW MEASUREMENTS INDICATED MAY VARY FROM WINDOW MANUFACTURER SIZES. BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE ABOVE MEASUREMENTS WITHIN CLOSE PROXIMITY. WINDOW SIZES TO BE VERIFIED ON SITE PRIOR TO PLACING ORDER WITH MANUFACTURER ANY DISCREPANCIES PLEASE CONTACT OFFICE IMMEDIATELY
NOTE: ALL GLAZING MUST COMPLY WITH AS.1288

SITE & AREA ANALYSIS

SITE (APPROX)	274sq/m
SITE COVERAGE	52.56% approx.
DWELLING AREAS	
LIVING	118.42sq/m
PORCH	2.00sq/m
GARAGE	23.60sq/m
TOTAL	144.02sq/m 15.50sq's

DRAWING SCHEDULE:

DRAWING No.	DRAWING TITLE
A1	GENERAL NOTES
A2	SITE / ROOF PLAN
A3	FLOOR PLAN
A4	ELEVATIONS
A5	SECTION & DETAILS
A6	DETAILS
A7	LIGHTING CALCULATOR

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GENERAL NOTES

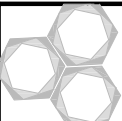
Checked JD Dwg. Title: A01/07

Plan: 1 of 8
WORKING DRAWINGS Rev:

Project: PROPOSED RESIDENCE

At: Lot 58 Mantello Drive, Werribee, Vic, 3030.

For: Persaud Homes.



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9467 6954 / 0403 568 160
Suite 14/19 Enterprise Drive, Bundoora, 3083
info@msdesignerliving.com.au
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NOTE:
SITE & FLOOR LEVELS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS COMMENCEMENT OF ANY WORKS

REV.	DESCRIPTION			DATE	



Date.	28-02-17
Scale.	
Job No.	20171090

DOWNPIPE LEGEND

- dp 100 x 50mm COLORBOND DOWNPIPE
- BG1 100 x 400mm COLORBOND BOX GUTTER. ADJUST ON SITE.

ALL DOWNPIPES SHALL HAVE MAXIMUM SPACING OF 12M. (unless noted otherwise)

→ ROOF FALL DIRECTION

SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1000MM FROM THE DWELLING

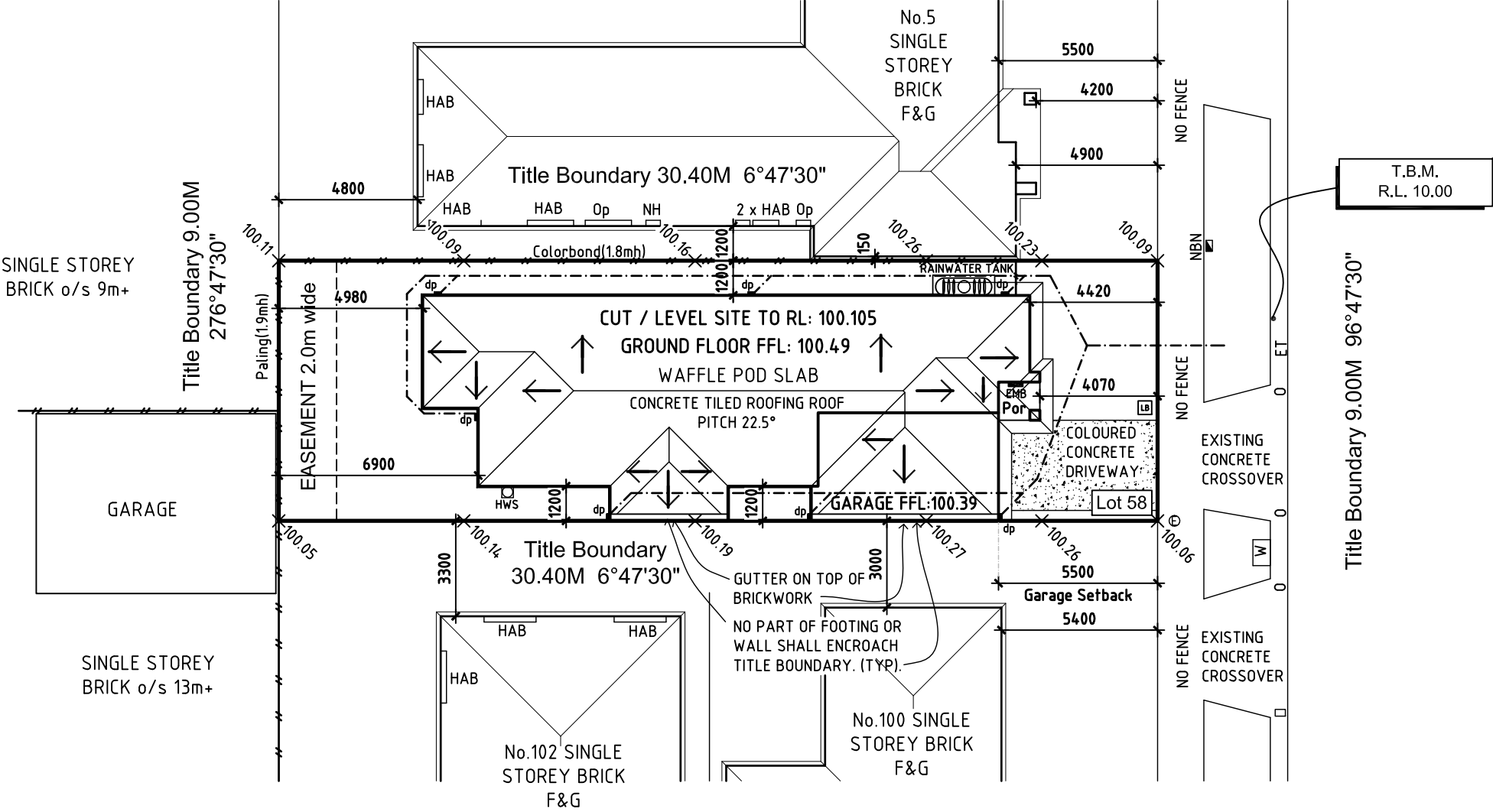
SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3 SHALL BE INSTALLED FOR GROUNDWATER OR AGGRESSIVE SOILS

ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEER'S DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS2870-2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:

- 0 SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION.
- 0 THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING.
- 0 WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PIPES ARE TO BE USED.

PLEASE NOTE: The plans/permits/consent provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date Plans Provided: 5/07/2017



ALL LEVELS SHOWN AS PROVIDED BY SURVEYOR AND ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

MIN. 100Ømm U.P.V.C. SEWER DRAIN CLASS "SH" CONNECTED INTO LEGAL POINT OF DISCHARGE AS DIRECTED BY LOCAL AUTHORITY.

BUSHFIRE WARNING
THIS SITE HAS BEEN ASSESSED UNDER THE AUSTRALIAN STANDARD 3959-2009 FOR BUSHFIRE ATTACK LEVELS AND IS NOT IN A DESIGNATED BUSHFIRE PRONE AREA.

SITE / ROOF PLAN

Project: **PROPOSED RESIDENCE**
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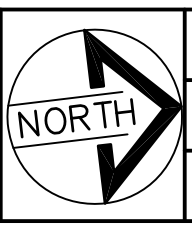
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REV.	DESCRIPTION	DATE



Date. 28-02-17	Drawn JD	Dwg. Title: SITE / ROOF PLAN
Scale. 1:200@A3	Checked MM	Sheet No. A02/07
Job No. 20171090	WORKING DRAWINGS	
		Rev:

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PROVIDE 10mm EXPANSION JOINTS AS PER SOIL TEST REQUIREMENTS, IN MASONRY WALLS ABOVE OR CLOSE TO JUNCTIONS BETWEEN; DIFFERENT TYPES OF FOOTING SYSTEMS, FOOTINGS FOUNDED AT SIGNIFICANTLY DIFFERENT DEPTHS, OR FOOTINGS FOUNDED ON SIGNIFICANTLY DIFFERENT MATERIALS. (ie. CLAY & ROCK) ALSO WHERE NEW BRICKWORK ABUTTS EXISTING BRICKWORK.

SMOKE ALARMS TO BE KEPT 300MM MIN. FROM WALLS, BULKHEADS, DOORWAYS ECT.

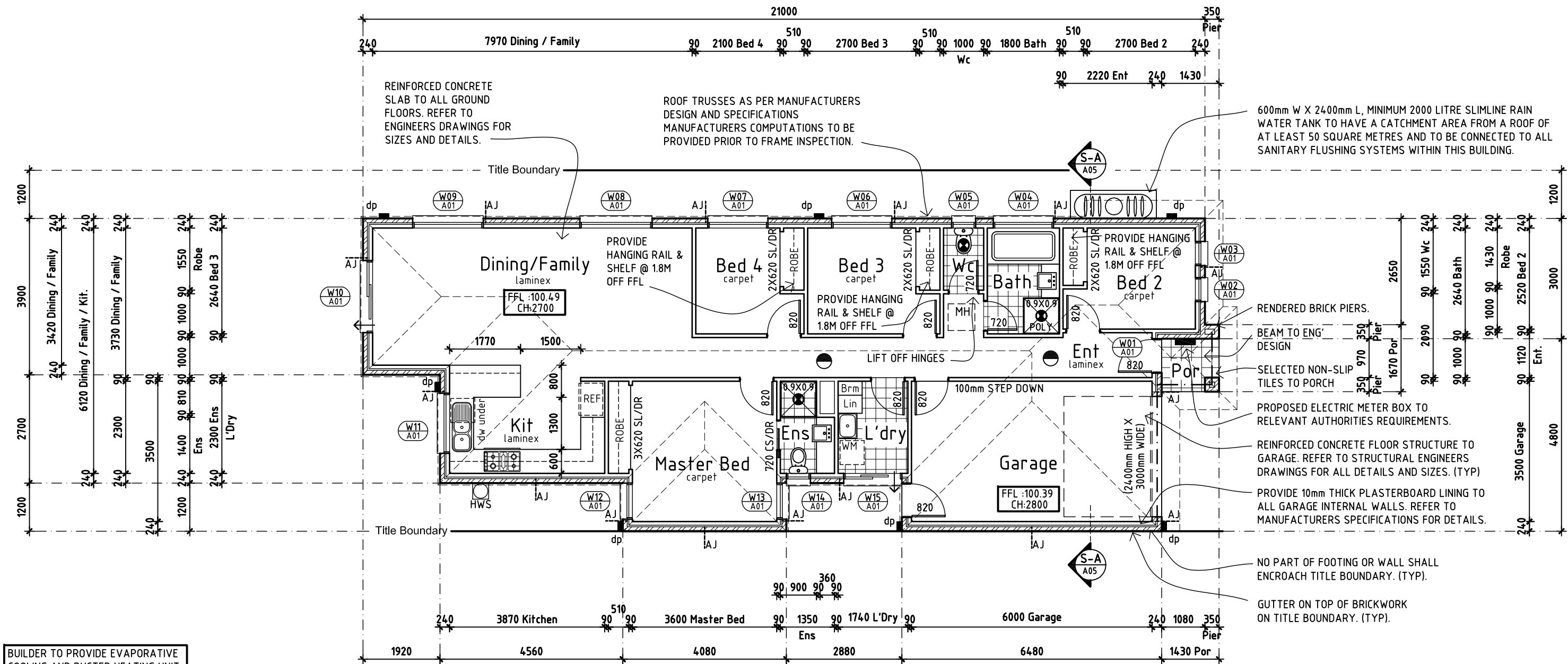
ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH NCC 2014.

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These Plans Provided AND TO COMPLY IN ACCORDANCE WITH THE ATTACHED ENERGY RATERS SPECIFICATION.



BUILDER TO PROVIDE EVAPORATIVE COOLING AND DUCTED HEATING UNIT

ALL FLOOR INTERNAL DOORS TO BE 2040mm HIGH, UNLESS OTHER WISE NOTED.

FLOOR PLAN

RANGEHOOD IS TO BE EXTERNALLY VENTED TO OUTSIDE AIR

SLIDING DOORS MUST BE GRADE 'A' SAFETY GLASS

TRUSS MANUFACTURERS SPECIFICATIONS TO BE PROVIDED PRIOR TO THEIR ERECTION AND LOADBEARING POINTS I.E LINTELS, STUDS SUPPORTING CONCENTRATED LOADS TO BE DESIGNED BY TRUSS MANUFACTURER AND/OR STRUCTURAL ENGINEER. IF STRUCTURAL DESIGN WAS PROVIDED THE DESIGN ENGINEER TO VERIFY TRUSS LOCATIONS AND DESIGN FOR LOADS ARE NOT REQUIRED.

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Date: 28-02-17
Scale: 1:100@A3
Job No. 20171090

Drawn: JD
Checked: MM
Dwg. Title: FLOOR PLAN
Sheet No. A03/07
Rev:

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Plan 3 of 8
WORKING DRAWINGS

THIS PLAN IS TO BE READ AND COMPLY IN ACCORDANCE WITH THE ATTACHED ENERGY RATERS SPECIFICATION.

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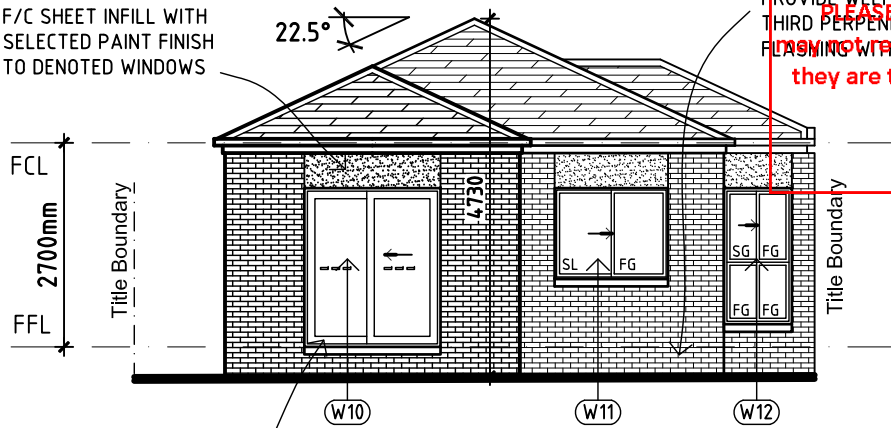
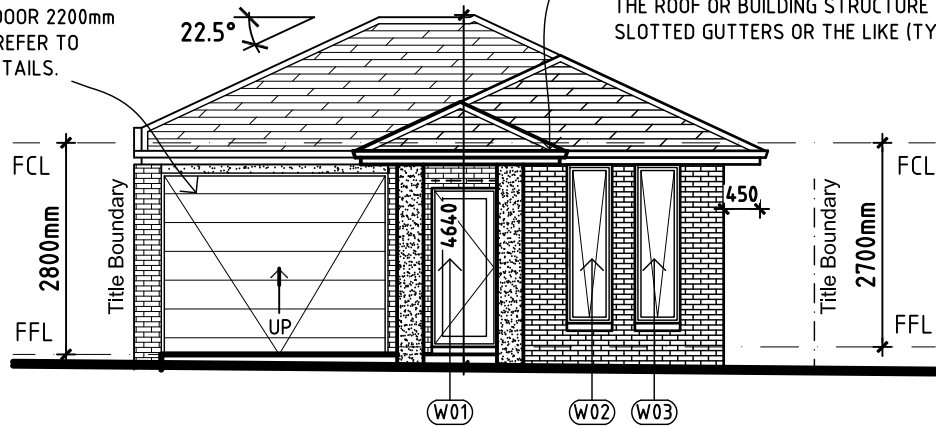
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SELECTED PANEL LIFT DOOR 2200mm HIGH (NOMINAL), V.O.S. REFER TO MANUFACTURER FOR DETAILS.

SELECTED COLORBOND GUTTER SET TO FALL 1 IN 500mm FIXED TO A COLORBOND FASCIA (TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISIONS MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INTO THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THE LIKE (TYP)

F/C SHEET INFILL WITH SELECTED PAINT FINISH TO DENOTED WINDOWS

PROVIDE WEEPHOLES AT EVERY THIRD PERPEND WITH CONTINUOUS FLASHING WITHIN EAVES (TYP)



North Elevation
(View from Mantello Drive)

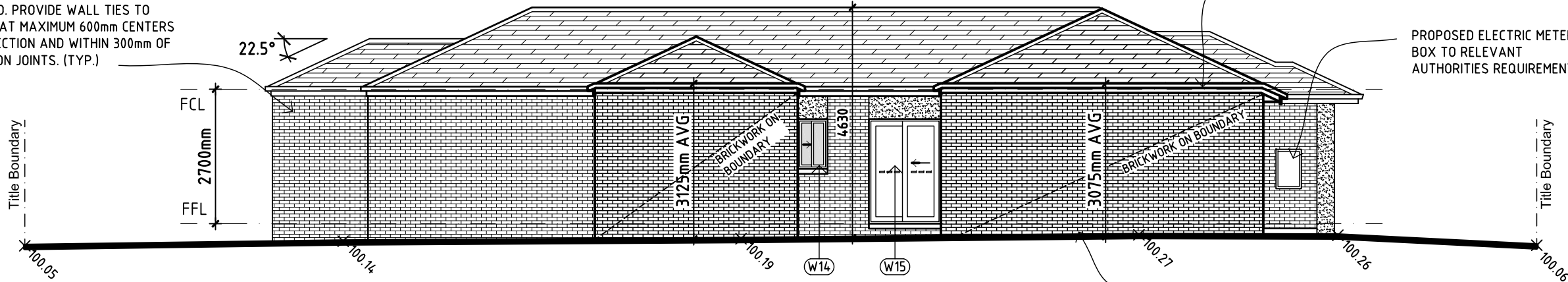
South Elevation

SELECTED FACE BRICKWORK TO ALL EXTERNAL WALLS U.N.O. TO COMPLY WITH A.S. 3700 - 2001. VERTICAL ARTICULATION JOINTS TO CONFORM WITH PART 3.3.1.8 OF THE B.C.A. REGULATIONS VOLUME TWO. PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CENTERS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS. (TYP.)

PROVIDE SAFETY GLASS TO POWDERCOATED ALUMINIUM FRAMED SLIDING DOOR COMBINATIONS TO COMPLY TO A.S. 1288-2006. (TYP)

GUTTER ON TOP OF BRICKWORK ON TITLE BOUNDARY. (TYP).

PROPOSED ELECTRIC METER BOX TO RELEVANT AUTHORITIES REQUIREMENTS.

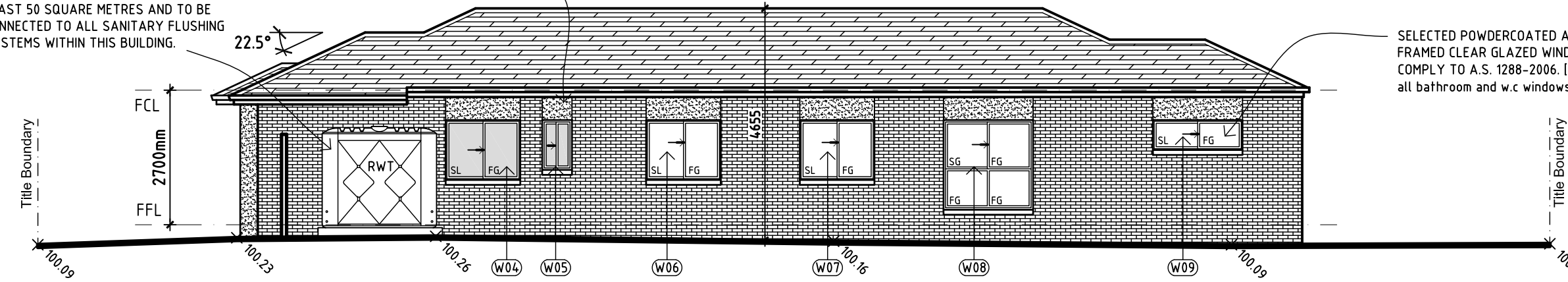


East Elevation

600mm W X 2400mm L, MINIMUM 2000 LITRE SLIMLINE RAIN WATER TANK TO HAVE A CATCHMENT AREA FROM A ROOF OF AT LEAST 50 SQUARE METRES AND TO BE CONNECTED TO ALL SANITARY FLUSHING SYSTEMS WITHIN THIS BUILDING.

F/C SHEET INFILL WITH SELECTED PAINT FINISH TO DENOTED WINDOWS

SELECTED POWDERCOATED ALUMINIUM FRAMED CLEAR GLAZED WINDOWS SHALL COMPLY TO A.S. 1288-2006. [opaque to all bathroom and w.c. windows.]



West Elevation

ELEVATIONS

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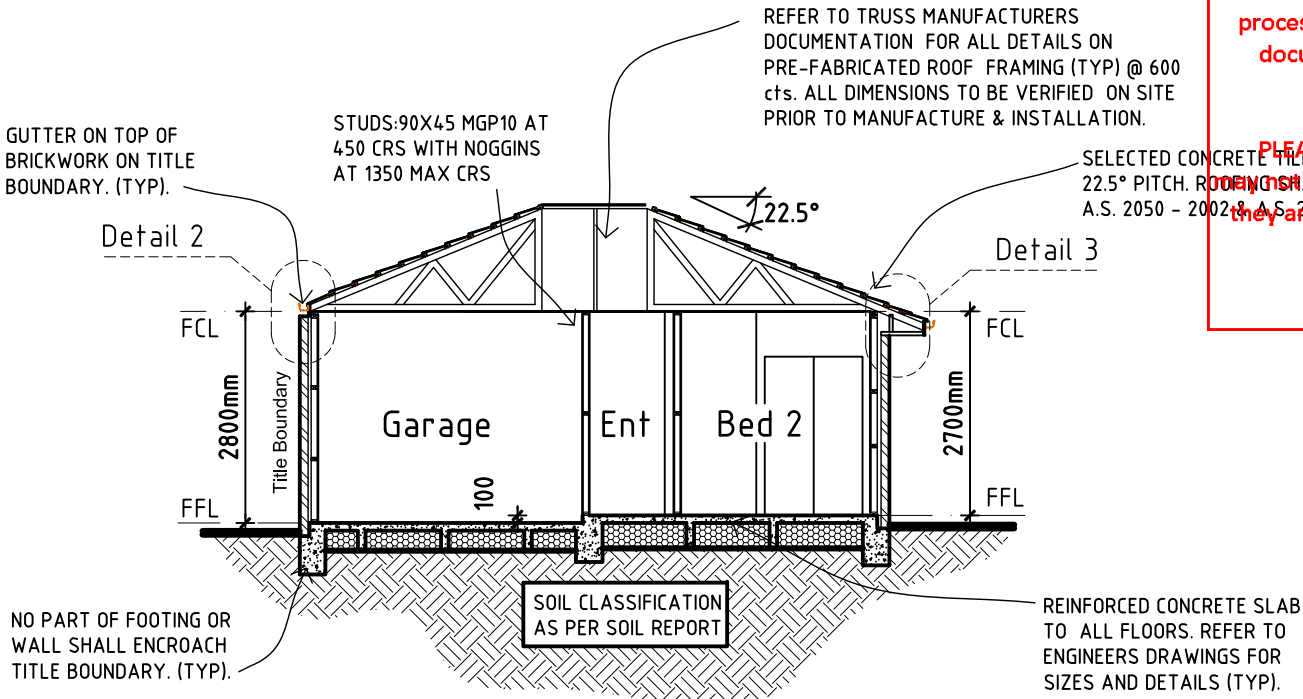
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Job No. 20171090	WORKING DRAWINGS	Rev:

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Plan 4 of 8

EXTERNAL
COLOUR &
MATERIAL
SCHEDULE

- BRICKS
- BRICK MORTAR
- ROOF TILES
- WINDOW FRAMES
- FLY SCREENS
- PORCH PIERS RENDER
- GARAGE RENDER
- GUTTERS
- FASCIA
- GARAGE DOOR
- DOWN PIPES
- METER BOX
- DRIVEWAY

STRUCTUAL TIMBERWORK
ALL STRUCTUAL TIMBERWORK AND ASSOCIATED CONNECTIONS SHALL COMPLY WITH A.S. 1720 TIMBER STRUCTURES CODE.
ALL TIMBER MEMBERS SHALL BE STRESS GRADED AND MARKED IN ACCORDANCE WITH A.S. 2858, A.S. 1748, A.S. 1749 AND B.C.A.
ALL TIMBER FRAMING INCLUDING FLOORS, WALLS AND ROOF, SHALL COMPLY WITH AS 1684 TIMBER FRAMING CODE.
ALL WALL BRACING SHALL BE IN ACCORDANCE WITH A.S. 1684.



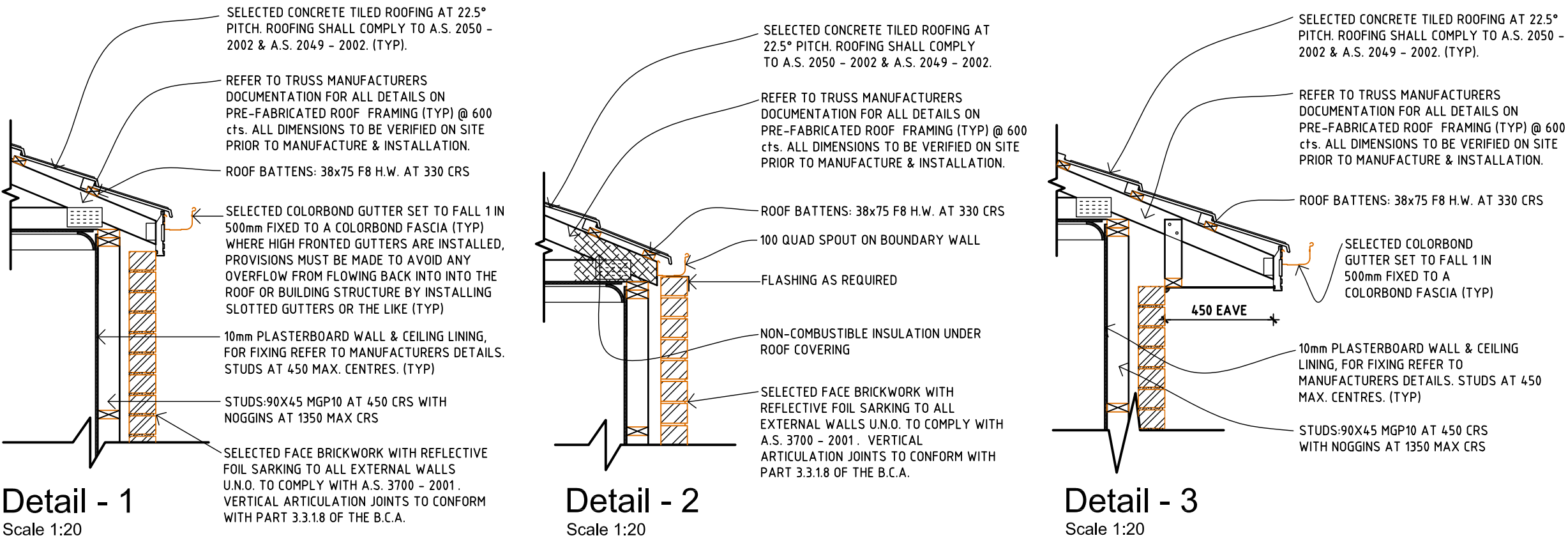
Section **A-A**
Scale 1:100
A3

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Date Plans Provided: 5/07/2017

SECTION



DETAILS

WYNDHAM CITY COUNCIL

Town Planning
Advised Documents

Plan 5 of 8

Project: **PROPOSED RESIDENCE**
At: **Lot 58 Mantello Drive,
Werribee, Vic, 3030.**
For: **Persaud Homes.**

MS designer living
architectural design

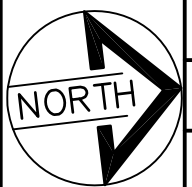
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Suite 14/19 Enterprise Drive, Bundoora, 3083
info@msdesignerliving.com.au
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- Unit Developments
- Extensions
- Commercial

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REV.	DESCRIPTION	DATE



Date. 28-02-17
Scale. As Noted
Job No. 20171090

Drawn JD
Checked MM

Dwg. Title: **SECTION & DETAILS**
Sheet No. **A05/07**
WORKING DRAWINGS
Rev:

SPECIFICATIONS:

SUB FLOOR:
REINFORCED CONCRETE SLAB TO ALL GROUND FLOORS. REFER TO ENGINEERS DRAWINGS FOR SIZES AND DETAILS

FLOORING:
FLOOR FINISHES AS SELECTED BY CLIENT.

WALL FRAMING:
FRAMING MUST BE IN ACCORDANCE WITH AS.1684.
BOTTOM PLATE- 90x45 MGP10
STUDS- 90x45 MGP10 AT 450 CTRS
JAMB STUDS- 2 / 90x45 MGP10
NOGGINS- 70x35 MERCH AT 1350 CTRS MAX
TOP PLATE- 2 / 90x45 MGP10
LINTELS TO ENGINEERS DESIGN AND SPECIFICATION.

ROOF FRAMING:
ROOF TRUSSES AS PER MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.
BUILDING TO CONFIRM EAVES DO NOT CLASH WITH WINDOWS OR MOLDS PRIOR TO ORDERING TRUSSES.
ROOF BATTENS: 38x75 F8 HW AT 330 CTRS (TILE)
38x75 F8 HW AT 900 CTRS
(COLORBOND)
38x75 F8 HW AT 900 CTRS (KLIP-LOK)

ROOFING TYPE:
- SELECTED CONCRETE TILED ROOF PITCH 22.5°

EXTERNAL FINISHES:
ALL MATERIALS AND FINISHES TO CLIENTS SPECIFICATION.
- SELECTED FACE BRICKWORK TO CLIENTS SPECIFICATION WHERE INDICATED.
- SELECTED SMOOTH RENDER FINISH TO CLIENTS SPECIFICATION WHERE INDICATED.

INTERNAL WALL FINISHES:
10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL WALLS)
10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL CEILINGS)
CLIENT TO SELECT SQUARE FINISH OR CORNICE FOR EACH ROOM.

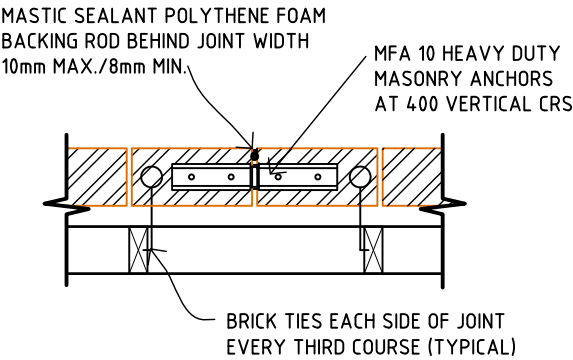
WET AREAS:
ALL WET AREAS TO HAVE IMPERVIOUS FINISH TO FLOOR AND WALLS (TILES) IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS.3740.2004.
SHOWERS TO 2100a.f.l MIN
SINKS, TROUGHS AND HAND BASINS - 300mm MIN

WINDOWS:
ALL WINDOW SIZES, TYPES AND COLORS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS.
WINDOW MEASUREMENTS INDICATED MAY VARY FROM THE WINDOW MANUFACTURERS SIZES.
BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE NOMINATED MEASUREMENTS WITH CLOSE PROXIMITY.
WINDOW SIZES TO BE VERIFIED ON SITE BEFORE PLACING ORDER WITH MANUFACTURER. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT THIS OFFICE IMMEDIATELY.
BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CLASH WITH ANY MOLDS OR EAVES PRIOR TO PLACING ORDER WITH MANUFACTURER.

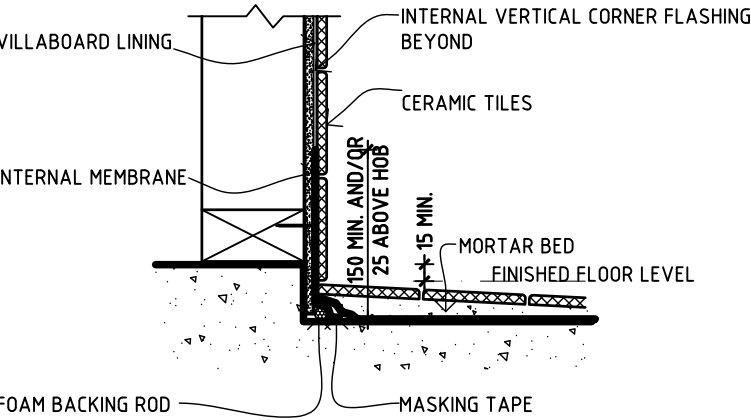
GLAZING:
ALL GLAZING SHALL COMPLY WITH THE AUSTRALIAN BUILDING CODE, FOR CLASS 1&10 BUILDINGS WITH A DESIGN WIND SPEED OF NOT MORE THEN N3.
FOR CLASS 2 TO 9 BUILDINGS, REFER TO THE BUILDING CODE OF AUSTRALIA PART B1.4 AND AS.1288 & AS.2047.
ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT.
BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

INSULATION:
PROVIDE INSULATION IN ACCORDANCE WITH THE THERMAL ASSESSMENT PROVIDED BY AN ACCREDITED ASSESSOR.

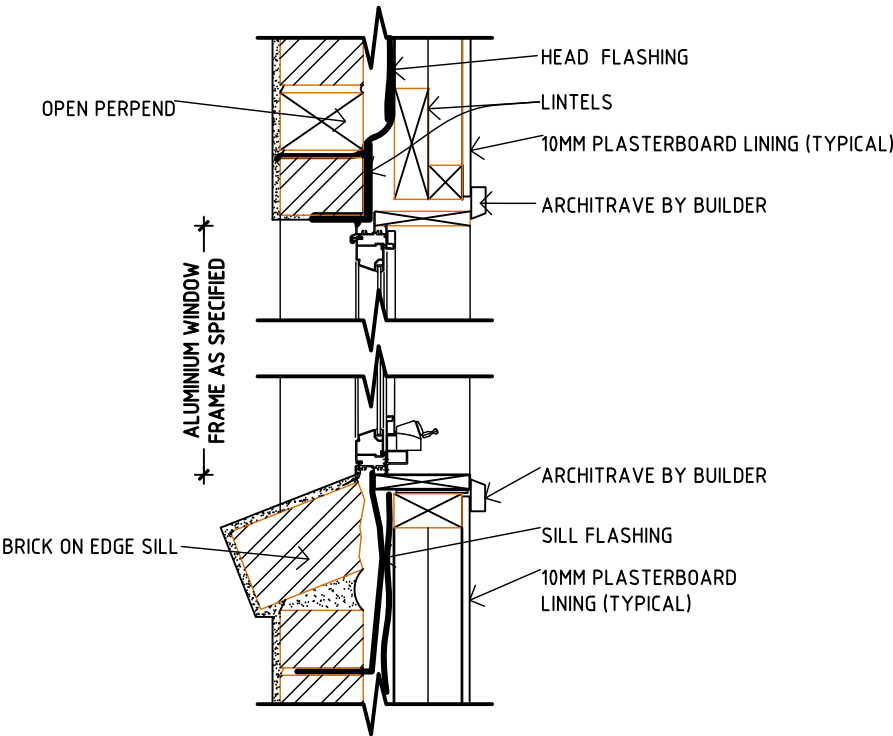
PROVIDE FULL HEIGHT ARTICULATION JOINTS TO BRICKWORK AT 6000mm max CTRS OR AS STATED ON GEOTECHNICAL & SITE INVESTIGATION REPORT.



Brick Articulation Detail Not to scale



Typical Wet Area Set-Down Details At Slab Scale 1:5



Typical Window Detail Scale 1:10

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THIS PLAN IS TO BE READ AND COMPLY IN ACCORDANCE WITH THE ATTACHED ENERGY RATERS SPECIFICATION.

WYNDHAM CITY COUNCIL

Town Planning Advertisd Documents

Plan 6 of 8

Project: PROPOSED RESIDENCE

At: Lot 58 Mantello Drive, Werribee, Vic, 3030.

For: Persaud Homes.

MS designer living architectural design

9467 6954 / 0403 568 160

Suite 14/19 Enterprise Drive, Bundoora, 3083

info@msdesignerliving.com.au

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REV.	DESCRIPTION	DATE



Date. 28-02-17	Drawn JD	Dwg. Title: DETAILS
Scale. As Noted	Checked MM	Sheet No. A06/07
Job No. 20171090	WORKING DRAWINGS	
		Rev:

THIS PLAN IS TO BE READ AND COMPLY IN ACCORDANCE WITH THE ATTACHED ENERGY RATERS SPECIFICATION.

NOTES:
PROVIDE LIGHT & POWER FOR HEATER UNIT WITHIN ROOF SPACE NEAR ROOF ACCESS.

PROVIDE POWER POINT WITHIN ROOF SPACE FOR COOLING UNIT.

ALL EXTERNAL FITTINGS TO BE WATERPROOF

PROVIDE ONE 15 AMP DOUBLE POWER POINT TO THE GARAGE AS INDICATED

INSTALL ALARM SYSTEM TO BUILDERS SPECIFICATION.

BUILDER TO PROVIDE ENERGY METERING DEVICE WITH IN HOME DISPLAY (ie. CLIPSAL CENT-A-METER)

SA ● DENOTES LOCATIONS OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-1993 & UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING, THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.

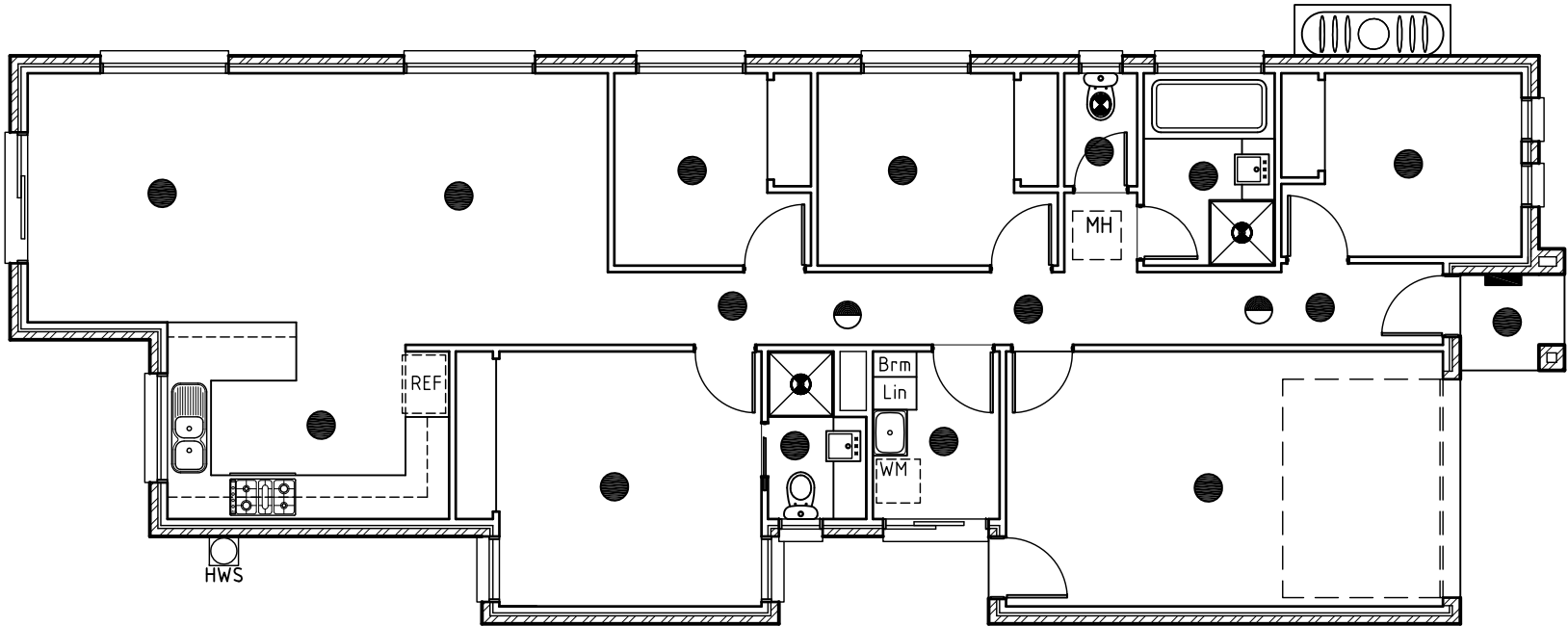
EF ● DENOTES: CEILING EXHAUST FAN PROVIDE A LIGHT AND AN EXHAUST FAN WHERE NATURAL LIGHTING AND VENTILATION IS NOT PROVIDED WHERE REQUIRED BY LOCAL AUTHORITY, DUCT THE EXHAUST TO THE OUTSIDE.

ELECTRICAL LEGEND
● ELECTRIC METER BOX
● CEILING LIGHT POINT

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LIGHTING NOT TO EXCEED 5 WATTS PER SQUARE METER FOR LIVING AREAS IN ACCORDANCE WITH BCA 2012.

LIGHTING NOT TO EXCEED 3 WATTS PER SQUARE METER FOR GARAGE IN ACCORDANCE WITH BCA 2012.

Artificial Lighting Calculator (To be installed in accordance with AS/NZ 1680 - 2009)	
Internal of dwelling - (Class 1)	
Dwelling floor areas:	118.42 sq/m
Total light fitting wattage proposed	560 watts
Max allowabel wattage - (5W/m²)	4.72 watts
Internal garage areas:	
Total light fitting wattage proposed	40.00 watts
Max allowabel wattage - (3W/m²)	1.73 watts
Porch areas:	
Total light fitting wattage proposed	5.00 watts
Max allowabel wattage - (5W/m²)	2.50 watts

LIGHTING CALCULATOR

Project: PROPOSED RESIDENCE		 <div>MS designer living architectural design</div> <div>9467 6954 / 0403 568 160 Suite 14/19 Enterprise Drive, Bundoora, 3083 info@msdesignerliving.com.au www.msdesignerliving.com.au</div> <div>- New Homes - Unit Developments - Extensions - Commercial</div>	© REPRODUCTION OF THE WHOLE OR PART OF THE DOCUMENT CONSTITUTES AN INFRINGEMENT OF COPYRIGHT. THE INFORMATION, IDEAS AND CONCEPTS CONTAINED IN THIS DOCUMENT IS / ARE CONFIDENTIAL, THE RECIPIENT(S) OF THIS DOCUMENT IS / ARE PROHIBITED FROM DISCLOSING SUCH INFORMATION, IDEAS AND CONCEPTS TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF MS DESIGNER LIVING PTY LTD.		*DO NOT SCALE THIS DRAWING *FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS TO CONFIRM DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS NOTE: SITE & FLOOR LEVELS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS.							Date. 28-02-17	Drawn JD	Dwg. Title: ELECTRICAL	
At: Lot 58 Mantello Drive, Werribee, Vic, 3030.												Scale. 1:100@A3	Checked MM	Sheet No. A07/07	
For: Persaud Homes.												Job No. 20171090	Plan: 7 of 8		Rev:
													WORKING DRAWINGS		
										REV.	DESCRIPTION		DATE		

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Town Planning
Advised Documents
Plan 7 of 8



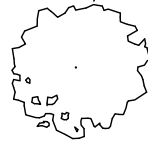
CORDYLINE FRUTICOSA RUBRA



DIANELLA DESTINY



CORDYLINE RED STAR



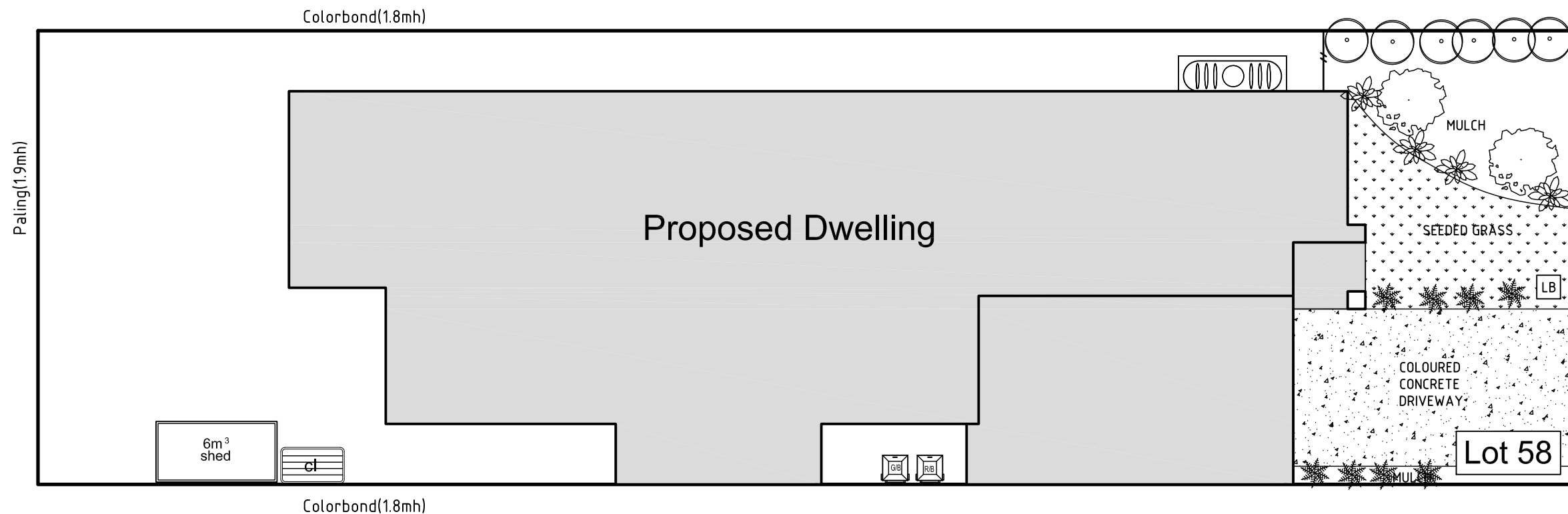
GRANDIFLORA TEDDY BEAR

EXCAVATE A SLOPING SHALLOW PLANTING HOLE, 2-3 TIMES THE WIDTH OF THE ROOT BALL. LEAVE A SPACE BETWEEN MULCH AND TRUNK

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Letter box



THE NATURE STRIP MUST BE MUST BE COMPLETED IN ORDER FOR THE LANDSCAPE REBATE TO BE PAID

PLEASE NOTE THAT THE AMOUNT OF HARD PAVING USED IN THE FRONT GARDEN, INCLUDING THE DRIVEWAY, MUST NOT COVER MORE THAN 50% OF THE FRONT GARDEN AREA.

PLEASE NOTE THAT AT LEAST 2 ESTABLISHED TREES, EACH WITH AN INSTALLATION HEIGHT OF AT LEAST 2M, MUST BE INSTALLED IN THE FRONT GARDEN, AS PER THE REQUIREMENTS OF SECTION 11 OF THE DESIGN GUIDELINES.

PLANTING TO SIDE BOUNDARIES MUST CONTINUE 4M PAST THE FRONT OF THE HOUSE.
THE HEIGHT OF THE PLANTING TO SIDE FENCES SHOULD BE A MINIMUM 2M.

LANDSCAPE PLAN

Project: **PROPOSED RESIDENCE**
At: **Lot 58 Mantello Drive, Werribee, Vic, 3030.**
For: **Persaud Homes.**

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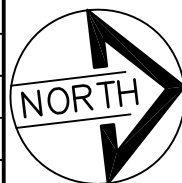
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REV.	DESCRIPTION	DATE



Date.	28-02-17
Scale.	1:200@A3
Job No.	20171090

Drawn	JD
Checked	MM

Dwg. Title:	LANDSCAPE PLAN
Sheet No.	A01/01
WORKING DRAWINGS	Rev:

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Town Planning
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Plan 8 of 8