

TOWN PLANNING SUBMISSION

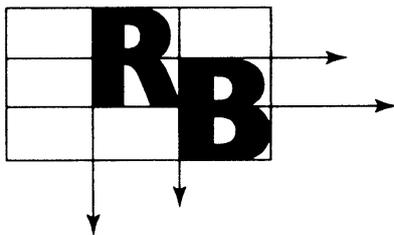
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Date Plans Provided: 28/07/2021

MEDIUM DENSITY HOUSING DEVELOPMENT - DOUBLE STOREY DWELLING TO THE REAR OF EXISTING DWELLING

NO. 4 TALLONG COURT, HOPPERS CROSSING



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Plan: 1 of 36

1. SITE CONTEXT / NEIGHBOURHOOD CHARACTER

The subject site is located on the west side of Tallong Court and just before the bow of the court. Tallong Court runs north off Yandina Road and is located in a well established residential area of Hoppers Crossing located to the west of Derrimut Road and between Rogans Road and Virginia Drive. All lots in Tallong Court are developed with housing

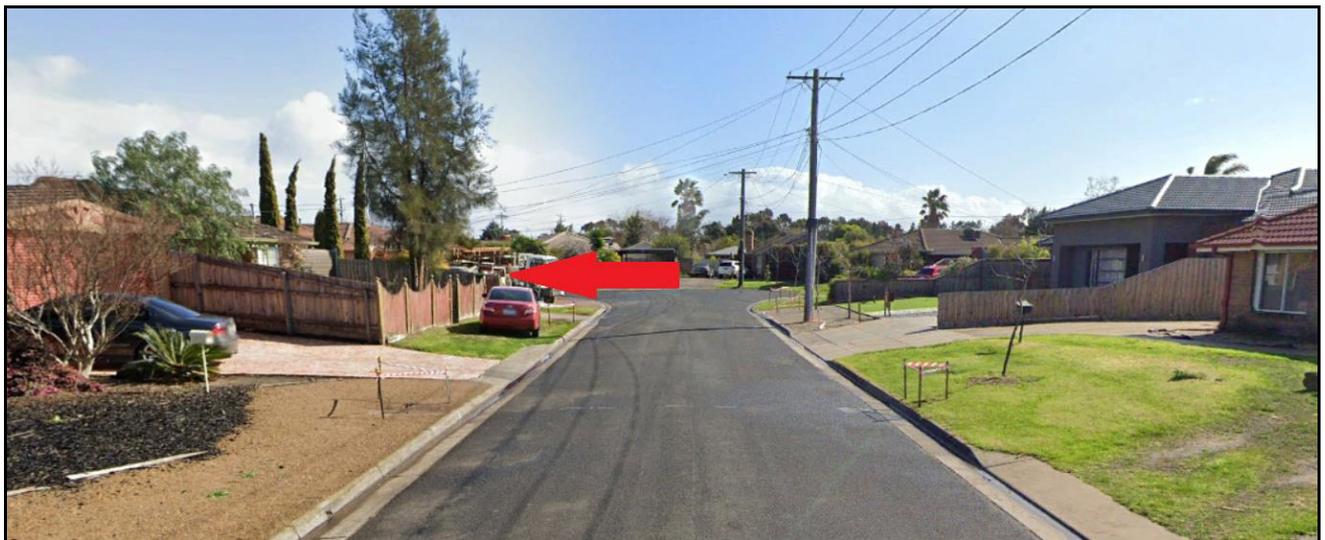
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Subject site – 4 Tallong Court

The site is wedge shaped being wider at the rear than at the frontage. The site frontage is in three sections and has a width of 16 metres, with a depth of over 49 metres and an area of 680 square metres. The site is essentially flat and there is no significant difference between any part of the site and adjoining properties. There is a 2-metre wide easement along the rear boundary of the site and there no footpaths along either side of Tallong Court.



View north along Tallong Court towards subject site/existing dwelling – 4 Tallong Court

Located on the site and setback 6 metres from the northern corner of the Tallong Court frontage is a single-storey brick dwelling that appears to date from the 1980s. This dwelling sits adjacent to the south side boundary with the wide north side setback being utilised as a driveway.

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an outdoor living which is to the rear of the carport. This dwelling originally had three bedrooms and an internal layout that is reasonably typical of the era of its construction with a family room area opening onto the outdoor living area. One of the rear bedrooms has recently been opened up and converted to a study. The front entry area of the dwelling faces onto the wide side driveway setback area.

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Subject site/existing dwelling 4 Tallong Court



Outdoor living area of existing dwelling 4 Tallong Court – to rear of carport

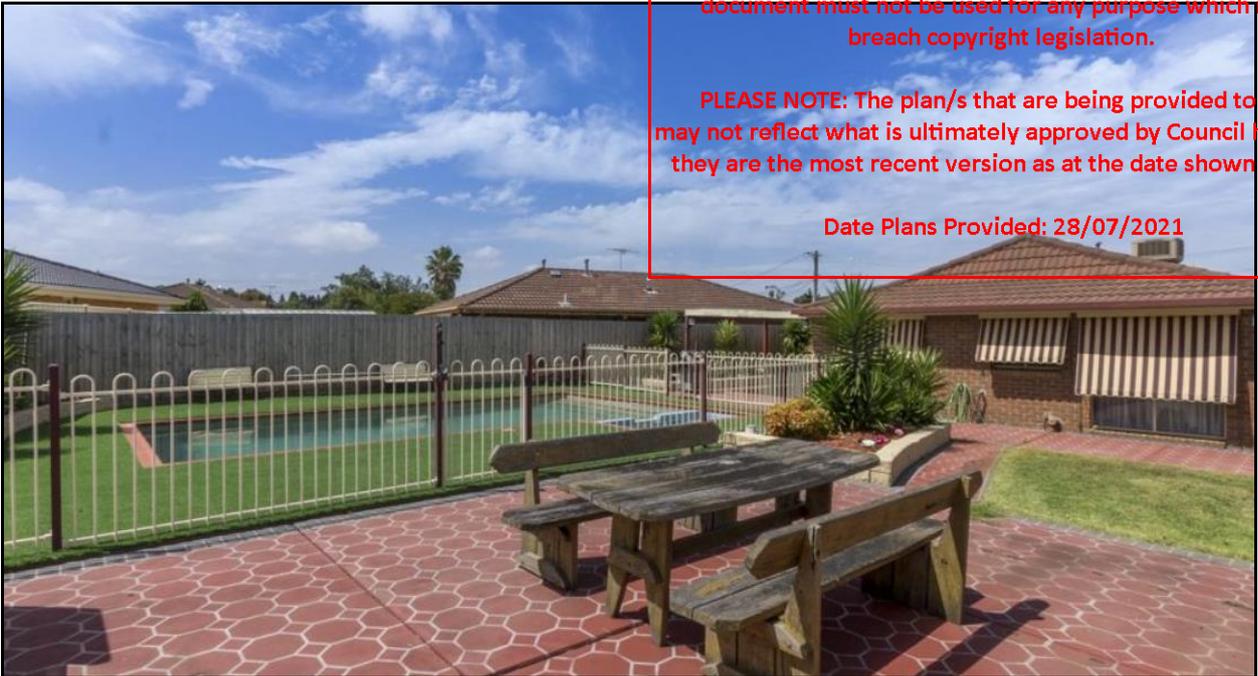
The backyard area is quite large and open with limited vegetation. There is an inground pool in the backyard area.

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View of backyard area and showing pool and rear of existing dwelling

Aside from the pencil pines a few shrubs in the front garden and a few shrubs along the rear boundary of the site the garden areas of the property are mainly lawn areas. There are no large canopy trees in the yard and there is no street tree in the nature strip at the frontage.

To the south of the site at 3 Tallong Court is another single-storey brick dwelling that also appears to date from the 1980s. This dwelling is located such that it is separated from the south side boundary of the site and the existing dwelling at No. 4 by a side driveway. Because of the layout of allotments in the court and the manner in which dwellings are aligned to the lot frontage this adjoining dwelling appears to be set forward of the dwelling at No.4.



View of adjoining dwelling to the south of site at 3 Tallong Court

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To the north of the site of the site at 5 Tallong Court is another single-storey brick dwelling. This dwelling is also located such that it angles away from the side boundary of the site and the existing dwelling at No. 4 and its side driveway and a carport are located to the north side of this adjoining dwelling. This dwelling has two large outbuildings may be searched at [www.councils.nsw.gov.au](#) however remaining rear private open space areas from the rear of the subject site.



View of adjoining dwelling to north of site – 5 Tallong Court

While there are numerous other detached single storey dwellings in Tallong Court it is noted that there are two single storey villa units at No. 11 Tallong Court and at the rear of a property on the corner of Tallong Court and Yandina Road a new two-storey dwelling has been erected to the rear of the original dwelling.



Two Villa Units at 11 Tallong Court

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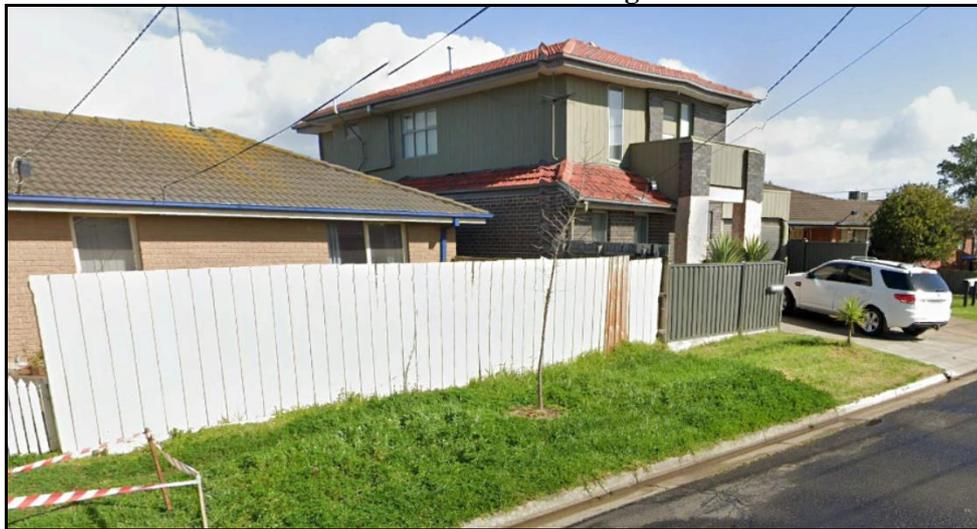
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Two Villa Units at 11 Tallong Court



Two storey dwelling at rear of property at corner of Tallong Court and Yandina Road

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Located mainly to the rear of site is a single storey detached dwelling at Melaleuca Drive. This dwelling is more than 12 metres from the rear boundary of the site.

There are numerous other suburban style dwellings around and near the site and as well as the medium density developments mentioned there are also several other medium density developments comprising two dwellings and which can be two new dwellings or a second dwelling erected to the rear of the original dwelling.

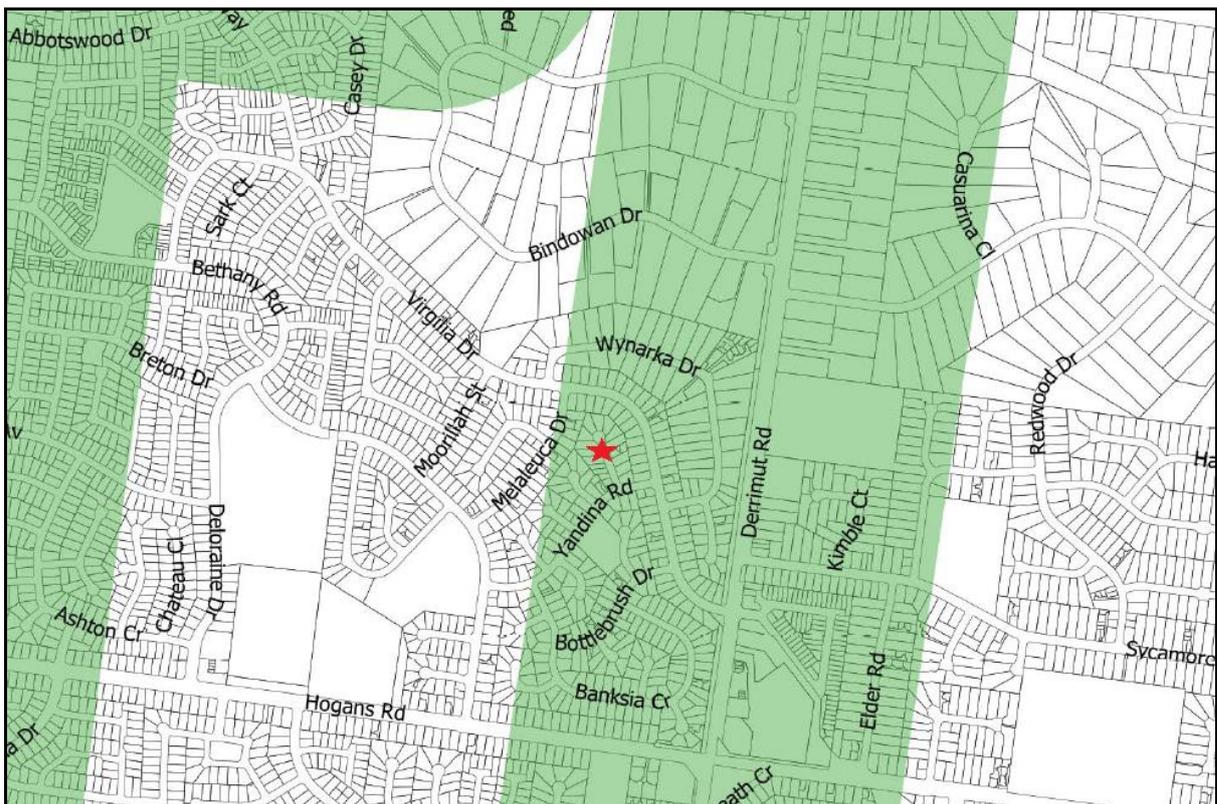
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While the majority of existing dwellings in the immediate area are single storey suburban style detached dwellings typical of the 1980s it is noted that two-storey dwellings are not particularly uncommon in the wider area.

Generally, because of the age of residential development in the immediate area and the fact that there are few, if any, vacant allotments, medium density dwellings amongst the original dwellings are still reasonably uncommon.

As the site is located in an older established residential area it is advantaged by its proximity to the schools, extensive areas of reserve and recreational facilities. The Hogans Corner shopping centre is close by on the northeast corner of Hogans Road and Derrimut Road and there are bus routes on Virgillia Drive and Derrimut Road that provide a connection to the Werribee Plaza and the Hoppers Crossing railway station. It is noted that the subject site is located within the Principal Public Transport Network Area.



Principal Public Transport Network

2. DESIGN RESPONSE

The subject site is seen as being well suited to further development because of its size, its location in an established area and the nature of nearby development which includes medium density housing. The existing dwelling is in good sound condition and is located on the site with suitable

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driveway access that facilitates access to the rear of the site and retention of the existing dwelling as part of a proposal for additional development.

As the site is generally similar in size to most of the other allotments in the area that have been developed or redeveloped for an additional dwelling (in a tandem layout) it lends itself to development with a second dwelling. The two-dwelling development at 11 Tallong Court is on a similar sized allotment to the subject site.

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In establishing a design and layout for a new dwelling on the land, the following factors have been influential:

- The somewhat irregular shape of the site and the way it widens to the rear.
- The east-west orientation of the site and its depth.
- The location of an easement along the rear boundary of the site
- The location of the existing dwelling and in particular the setback of the dwelling from the north side boundary and the location of its entry area.
- The access available to the rear of the site because of the side setback of the existing dwelling.
- The area available at the rear of the site behind the existing dwelling if the swimming pool is removed.
- The ability to retain the existing dwelling which now comprise 2-bedrooms and which has a footprint that facilitates new on-site car accommodation.
- The location of the living areas of the existing dwelling.
- The location of the existing dwelling in relation to the adjoining dwellings in Tallong Court.
- The absence of any significant vegetation on the site.
- The presence of a side driveway to most existing dwellings in the area and the provision of car accommodation in that driveway in the form a carport or a garage at the end of the driveway.
- The need to provide vehicle access for the new dwelling and to provide vehicle access and new car accommodation for the existing dwelling.
- The need to provide any new dwelling with suitable private open space.

It is proposed to locate a new double-storey dwelling at the rear of the site utilising an extension of the existing side driveway. The width of the north side setback of the existing dwelling, the location of the existing driveway and the footprint of the existing dwelling facilitates this extension and the extended driveway would access a garage for the new dwelling which would be located almost in the north-west rear corner of the site but avoiding the rear easement. This garage would not have a wall on the rear side boundary of the site. The dwelling itself would also avoid

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the rear easement and would be separated from the rear of the existing dwelling so as to provide an area of private open space for this dwelling. The south side ground floor wall of the new dwelling would have no windows facing towards the existing dwelling.

The new dwelling would have no section of wall on any boundary of the site other than the garage wall on the north side boundary and this wall would be located to adjacent to a shed in the backyard of No. 5.

As well as a garage at ground floor level the new dwelling would comprise living areas and a laundry and bathroom. At first floor level it would provide three bedrooms study and bathrooms.

The width of the north side setback of the existing dwelling and the footprint of the existing dwelling facilitates continuing use of part of this setback as part of the private open space with this area being located adjacent to the family room.

Car parking for the existing dwelling, now a two-bedroom dwelling will be in the form of an open car space at the front of the dwelling and accessed by the existing driveway. Only this one car space would be provided for the existing dwelling because it is now a two-bedroom dwelling. The location of the existing dwelling and its front setback facilitates the provision of such car space without compromising the provision of a suitable front garden

Similar to other recent medium density development in the area the proposed new dwelling adopts a reasonably contemporary suburban style and even though the proposed dwelling will not be particularly visible from Tallong Court, it means it will not appear out of place having regard to the 1980s suburban context.

Other aspects of the design and layout to note include:

- Garage for new dwelling located adjacent to entry area of this dwelling.
- Garage for the new dwelling provides internal access to this dwelling
- North facing habitable room windows to meals area of proposed dwelling
- Tandem driveway parking space available for new dwelling.
- Most of existing front garden setback able to be retained
- Width of north side setback of existing dwelling enables additional private open space to supplement the area between this dwelling and the new dwelling.

Further aspects of the design response will be elaborated upon in the attached assessment of the proposal against the objectives and standards of Clause 55.

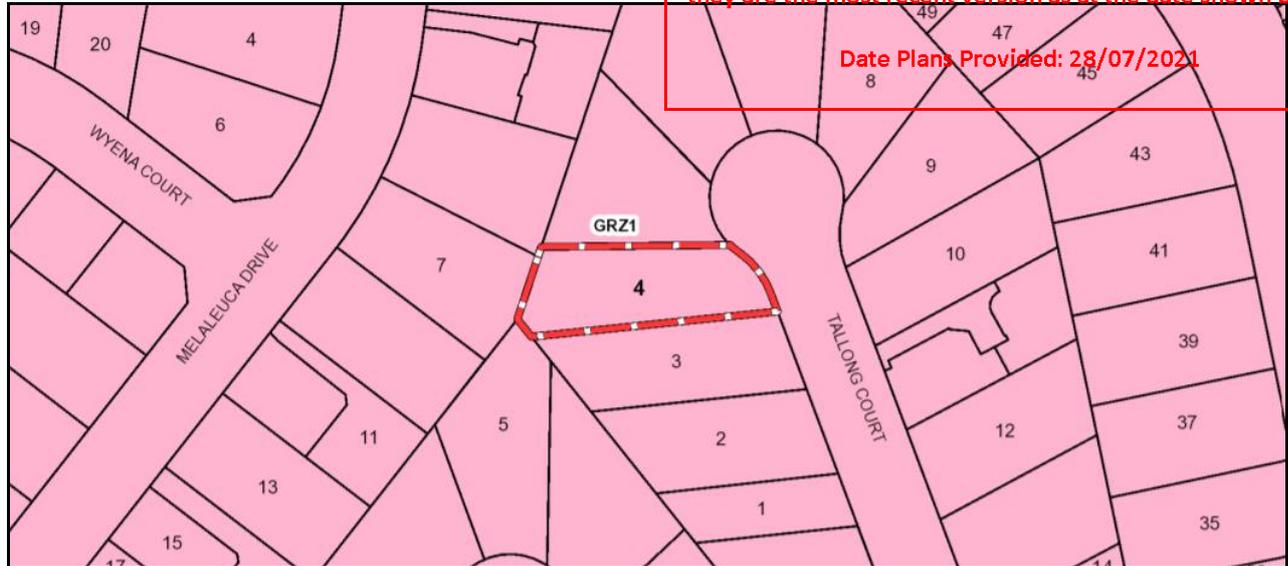
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3. POLICY FRAMEWORK

The site and other residential land in the area are zoned General Residential (GRZ1) under the Wyndham Planning Scheme. There are no overlays that apply to the subject land.

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Zoning Map

The relevant part of the purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

A dwelling is a Section 1 use in the General Residential Zone but Clause 32.08-4 specifies that a permit is required to construct two or more dwellings on a lot and this clause also requires that a development must meet the requirements of Clause 55.

Clause 32.08-4 specifies a minimum garden area requirement at ground level for the construction or extension of a dwelling or residential building on a lot. In the case of the subject site the garden area must be 35% of the lot area. This development would have garden areas comprising almost 40% of the site.

There is a Schedule 1 to the General Residential (GRZ1) Zone for the Wyndham Residential Areas but this schedule varies none of the standards of Clause 55.

Planning Policy Framework

Policies and strategies relevant to this proposal can be found in Clauses 11, 11.06, 15 and 16 in the State Planning Policy Framework.

Clause 11 says planning is to recognise the need for, and as far as practicable contribute towards among other things:

- Diversity of choice.
- A high standard of urban design and amenity.
- Energy efficiency.

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Furthermore, planning is to facilitate sustainable development that takes full advantage of existing settlement patterns, and investment in transport and communication, water and sewerage and social facilities.

Clause 11.06 deals with Metropolitan Melbourne and Clause 11.06-2 deals with Housing Choice and has the objective:

- To provide housing choice close to jobs and services.

Strategies include:

- Manage the supply of new housing in locations that will meet population growth and create a sustainable city.
- Facilitate increased housing in the established areas to create a city of 20 minute neighbourhoods close to existing services, jobs and public transport.
- Support housing growth and diversity in defined housing change areas and redevelopment sites.
- Direct new housing to areas with appropriate infrastructure.
- Allow for a spectrum of minimal, incremental and high change residential areas that balance the need to protect valued areas with the need to ensure choice and growth in housing.
- Provide certainty about the scale of growth in the suburbs by prescribing appropriate height and site coverage provisions for different areas.

Clause 15 – Built Environment and Heritage starts by saying:

Planning should ensure all new land use and development appropriately responds to its landscape, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

Creating quality built environments supports the social, cultural, economic and environmental wellbeing of our communities, cities and towns.

It also says that planning should, among other things, achieve high quality urban design and architecture that contributes positively to local urban character and sense of place and which minimises detrimental impact on neighbouring properties.

Clause 15.01-1 – Urban design has the objective of creating urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.

Strategies include:

- Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.
- Require development to include a site analysis and descriptive statement explaining how the proposed development responds to the site and its context.
- Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.

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The proposed development is appropriate having regard to these strategies; it is essentially a minor infill development that creates a new three bedroom dwelling suited to a variety of households on a reasonably large allotment that is located within an already developed residential area. It is provided with a range of services and facilities, including schools, open space and a substantial local activity centre, the Hogans Corner shopping centre.

Clause 15.01-1 – Urban Design Principles – has the objective of achieving architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.

Clause 15.01-5 - Cultural identity and neighbourhood character – has the objective of recognising and protecting cultural identity, neighbourhood character and sense of place.

Strategies include:

- Ensuring development responds and contributes to existing sense of place and cultural identity.
- Ensuring development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.
- Ensuring development responds to its context and reinforces special characteristics of local environment and place

Clause 16 – Housing – starts by stating that planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure. Furthermore, new housing should have access to services and be planned for long term sustainability, including walkability to activity centres, public transport, schools and open space. It is noted the site is within easy walking distance of open space, a shopping centre and bus services that provide access to a railway station.

Clause 16.01-1 – Integrated housing – has the objective of promoting a housing market that meets community needs.

Strategies include:

- Increasing the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
- Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
- Ensuring housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.

This proposal is considered appropriate in that it provides a family type dwelling and develops a reasonably large allotment which clearly has the potential for the development of a second dwelling.

Clause 16.01-2 – Location of residential development – has the objective of locating new housing in or close to activity centres and in urban renewal precincts and sites that offer good access to jobs, services and transport. It is noted that the site is close to a substantial local shopping centre.

schools and open space and that it is within the Principal Public Transport Network Area. There is a bus service in Virgillia Drive and other services in nearby Derrimut Road.

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Strategies include:

- Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.
- Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport. (Again it is noted that the site is within the Principal Public Transport Network Area)
- Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.
- Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.

Clause 16.01-4 – Housing diversity – has the objective of providing for a range of housing types to meet increasingly diverse needs.

Strategies include:

- Ensuring housing stock matches changing demand by widening housing choice, particularly in the middle and outer suburbs.
- Encourage the development of well-designed medium-density housing which:
 - Respects the neighbourhood character.
 - Improves housing choice.
 - Makes better use of existing infrastructure.
 - Improves energy efficiency of housing.
- Support opportunities for a wide range of income groups to choose housing in well-serviced locations.

The various strategies thus seek to:

- Confine outward metropolitan growth
- Locate a proportion of new housing in or close to activity centres
- Increase the proportion of housing to be developed within the established urban area
- Encourage higher density housing development on sites that are well located in relation to activity centres and public transport
- Increase housing choice particularly in the middle and outer suburbs
- Ensure new development appropriately responds to its landscape, allied built form and neighbourhood character cultural context

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- Encourage the development of well-designed medium density housing to improve housing choice, make better use of existing infrastructure and improve energy efficiency.

Overall, it is submitted that this two dwelling medium density housing development is consistent with State planning policy because it:

- Assists with urban consolidation.
- Adds to housing choice and diversity by providing an additional family sized medium density dwelling on a smaller site in an established residential area that overall, largely comprises single detached dwellings.
- Makes efficient use of a reasonably large and well located parcel of residential land in a now well established residential area with good access to services and facilities.
- The site is well located in relation to shopping, numerous recreational facilities and public open space.
- Adequately respects the established suburban neighbourhood character of the area with a layout and built form that is clearly consistent with newer suburban residential development nearby including existing medium density development.
- Constitutes a suitable response to the residential aspect of neighbourhood character that includes existing medium density development and some double storey built form. All
- Minimise impacts on local residential amenity.

Plan Melbourne 2017-2050

Planning must consider as relevant or as required the document *Plan Melbourne 2017-2050: Metropolitan Planning Strategy (Department of Environment, Land Water and Planning, 2017)*. This document is referenced in the Wyndham Planning Scheme at Clause 11.01-1S – Settlement.

The strategy continues the focus on housing choice and affordability and one of its key directions is to plan for expected future housing needs as Melbourne will need to build another 1.6 million homes into the future as its population is projected to grow from 4.8 million to almost 8 million.

Policy initiatives for housing include:

- Maintaining a permanent urban growth boundary around Melbourne to create a more consolidated sustainable city.
- Facilitate an increased percentage of new housing in established areas to create a city of 20-minute neighbourhoods close to existing services, jobs and public transport.
- Plan for and define expected housing needs across Melbourne's regions.
- Provide certainty about the scale of growth in the suburbs.
- Direct new housing and mixed-use development to urban renewal precincts and sites across Melbourne.
- Support new housing in activity centres and other places that offer good access to jobs, services and public transport.
- Facilitate housing that offers choice and meets changing household needs

The subject site is a site that is close to some public transport (bus services) and a range of other urban amenities and facilities.

As the proposal for an additional dwelling on the land clearly constitutes consolidation of development within an existing urban area it is in accordance with State Planning Policy. Overall, the proposal is in accordance with the objectives of State Planning Policy which are to encourage well-designed medium density housing and which in turn improves housing choice and makes better use of infrastructure.

PLANNING POLICY FRAMEWORK - Municipal Strategic Statement

Proposals such as this that improve housing choice are important because the overall population of the municipality will continue to grow and the Municipal Profile in the MSS notes the demand for new and additional housing:

Wyndham is one of metropolitan Melbourne's designated growth corridors. The City comprises the suburbs of Werribee, Hoppers Crossing, Point Cook, Laverton, Williams Landing, Truganina, Tarneit and Wyndham Vale, all of which are within the Urban Growth Boundary. Werribee South, Cocoroc, Little River, Mambourin, Quandong, Eynesbury and Mount Cottrell are outside the growth area.

Wyndham was the fastest growing area in the country in 2012 with the population forecast to grow by another 155,000 people by 2031. The Australian Bureau of Statistics indicated that the City had a population of about 166,000 residents in 2012 and it is estimated that by 2040, the city could host 425,000 people in 151,000 dwellings.

Characteristics of the Wyndham community include a relatively high proportion of family households; a high birth rate; a larger average household size than metropolitan Melbourne; growing levels of cultural diversity; a relatively low level of socio-economic disadvantage; relatively lower levels of educational attainment; and growing levels of unaffordable housing.

(Clause 21.01-1)

Under the heading Housing it is noted that levels of growth will make housing diversity a key planning issue:

The rapid growth of the City requires more attention to housing diversity, as well as housing density, to ensure that housing is sustainable and reflects community needs.

(Clause 21.01-3)

Clause 21.07 deals specifically with Housing and in looking at Residential Development it says:

The rapid growth of Wyndham requires that more attention be paid to housing diversity and housing density so as to ensure that housing reflects overall community needs.

In addition to the expected population growth in the greenfield areas, the 2011 population of Werribee is projected to increase from about 39,000 residents to over 60,000 people by the year 2031 supporting an additional 8,500 dwellings. The 2011 population of Hoppers Crossing is projected to decrease from about 38,600 residents to 37,300 people by the year 2031 supporting an additional 570 dwellings....

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..... *New growth areas present great opportunities to provide higher density, more diverse housing around new activity centres, especially transit based centres.*

(Clause 21.07-1)
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Key issues are seen as:

- Accommodating a projected population of about 425,000 people by 2040.
- Addressing the cost of developing medium density housing which is more expensive than constructing a detached house of a comparable size.
- Identifying the Werribee City Centre as a key commercial centre for Melbourne's west, and a location for high density residential development.

Objectives and strategies include:

Objective

- To provide variety and choice in housing densities.

Strategies

- Identify preferred areas for increased residential densities.
- Identify preferred areas for incremental and limited change.
- Encourage higher density development to occur in well serviced and established areas such as Werribee City Centre and Hoppers Crossing.

Housing diversity is also addressed:

The 2011 census revealed that overall; Wyndham comprised a total of nearly 60,000 dwellings. Key characteristics of local housing include a dominance of separate dwellings, a small proportion of renters and growing levels of unaffordable housing. As housing estates rapidly develop across Wyndham, access to affordable housing is becoming an increasing concern, with mortgage payments and home rental payments rapidly increasing as a proportion of income.

Wyndham is presently dominated by large houses of four bedrooms and more with less than 5% of new dwellings having two or less bedrooms. With a declining average number of persons per household, a preference for smaller dwellings and a projected increase in lone person households and elderly residents, there is a mismatch between household sizes and a lack of availability of smaller dwellings....

..... *Greenfield areas are dominated by small lot sizes with many having single dwelling covenants which can restrict future land use flexibility. There is potential to define priority areas for development for multi-unit housing based on development capacity and neighbourhood character.*

(Clause 21.07-2)

The key issues associated with housing diversity are seen as:

- Declining household size and ageing population are creating a demand for a greater diversity of housing throughout the City.
- Increasing the supply of one to three-bedroom dwellings.

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Objectives and strategies include:

Objective

- To provide a diversity of choice in housing styles and designs.

Strategies

- Encourage housing that meets a diversity of community needs incorporating a ‘universal’ dwelling design.
- Support housing and accommodation for the ageing population.
- Ensure that smaller household units are developed particularly near rail stations, activity centres or employment areas.

Council has recognised this need for diversity and in numerous more recently developed residential areas it has encouraged and approved alternative forms of housing. Such housing is also appropriate in established areas if it is in keeping with neighbourhood character.

Neighbourhood character is also addressed at Clause 21.07-3 as the *Wyndham Neighbourhood Character Scoping Study 2012* has assessed the character of established residential areas and has identified five broad neighbourhood character types in the established residential areas of the municipality.

This part of Hoppers Crossing is in a Garden Court area and these areas are seen as comprising street patterns of winding roads and cul de sacs, with a range of dwellings set in garden surrounds and where in some areas, an established tree canopy as well as wide grass verges at the street edge, creates a strong landscape character. It is submitted that the immediate neighbourhood of the subject site does not exhibit a particularly strong landscape character.

The key issues associated with neighbourhood character at Clause 21.07-3 are seen as:

- Identifying and protecting areas within the municipality with significant neighbourhood character values.
- Considering neighbourhood character issues in the assessment of infill housing development proposals within existing residential areas.
- Balancing the tension in policy between urban consolidation objectives and the desire to respect residential amenity and neighbourhood character.
- Ensuring that the type, scale and design of development and the impacts on existing amenity are addressed.
- Minimising the loss of backyard areas and established vegetation.

Objectives and strategies for neighbourhood character include:

Objective

- To recognise places of distinct neighbourhood character.

Strategies include:

- Maintain the garden settings of buildings and the tree canopy of neighbourhoods.
- Accommodate landscaping within smaller garden settings.
- Maintain the rhythm of spacing between buildings.
- Provide space for front gardens and planting around buildings.
- Minimise the loss of front garden space and the dominance of car parking structures.
- Avoid new buildings or extensions dominating the streetscape.
- Encourage innovative and contemporary architectural responses that make a positive contribution to the streetscape character.
- Ensure that the pattern of frontage treatment within the area is respected.

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The following comments are provided in relation to these strategies:

- There are no large trees on the site but the retention of most of the existing front garden area at the Tallong Court frontage will ensure that the garden setting of dwellings in the immediate area is maintained.
- New landscaping can also be accommodated within the private open space areas of the new and the existing dwelling.
- The location of the new dwelling to the rear of the site and in relation to the boundaries of the site maintains the rhythm and spacing of dwellings along Tallong Court. This also ensures that the new dwelling will not dominate the immediate streetscape of Tallong Court.
- The new dwelling incorporates only a single garage at the end of the driveway. This garage will not be overly prominent in the limited street presentation of the new dwelling and so this aspect of the development will not dominate the streetscape.

PLANNING POLICY FRAMEWORK – Local Planning Policy

There is a local policy relating to Neighbourhood Character at Clause 22.04 and it applies to “all planning permit applications where a permit is required for development in a residential zone under the Wyndham Planning Scheme.”

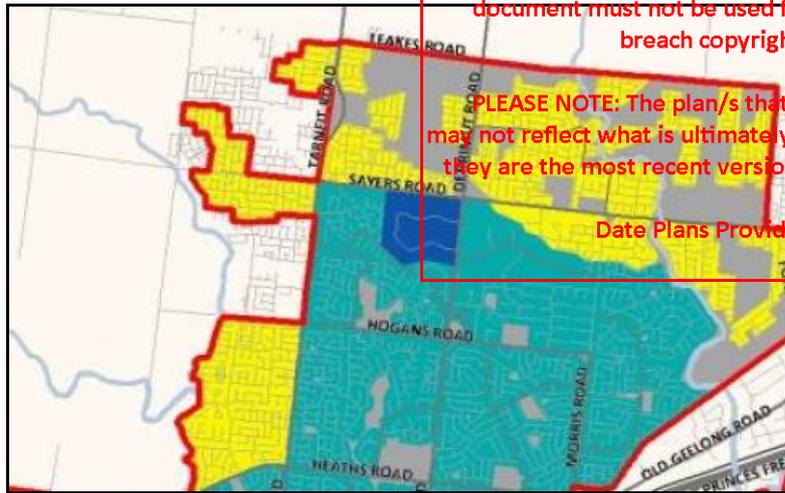
The basis of the policy is again the *Wyndham Neighbourhood Character Scoping Study 2012* and the five broad neighbourhood character types identified for the established residential areas of the municipality. Again it is noted this part of Werribee is in a Garden Court area.

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Extract from Map 7 - Clause 22.04 – Neighbourhood Character Areas

It is policy to assess proposals for residential development in the Garden Court area that require planning permission against the following criteria:

- Protection of existing tree canopy where well established.
- Provision for new canopy trees where lacking.
- Pattern of dwelling spacing of 1 to 2m from side boundaries.
- Low front fencing or open frontage with no fencing.
- Interface with open spaces and creek or river corridors.

The revised neighbourhood character policy would introduce the following additional criteria to the Garden Court area:

- Generous rear setbacks

These criteria are seen as satisfied because:

- The subject site and the immediate area exhibit some aspects of the established garden court character that includes some tree planting although there are no large trees on the site and none of the existing trees nearby could be considered as large canopy trees. The layout provides the opportunity for new planting and the retention of most of the existing front garden area in keeping with other dwellings in Tallong Court.
- The layout of this proposal would allow for a couple of suitable trees in the private open space area of both the existing and the new dwelling.
- There is one short section of garage wall on the north side boundary of the site but the layout of the proposal generally maintains the existing pattern of dwelling spacings with respect to side setbacks as this part of the proposed new dwelling will not be overly visible from Tallong Court. The rear dwelling only has a single garage and it is located where the single dwellings in the area might have a garage that is visible from the street down a side driveway. Having regard to this section of wall on the side boundary, because this is a proposal where the existing dwelling is retained and where because the section of boundary wall is located well back from the street frontage it will not be readily visible and so will not have any significant impact on the pattern of dwelling spacings along Tallong Court and the contribution this pattern makes to neighbourhood character in the area.
- The site presently has no front fence at the Tallong Court frontage and none is proposed.
- The site has no direct abuttal with any of the open space/reserve areas nearby.

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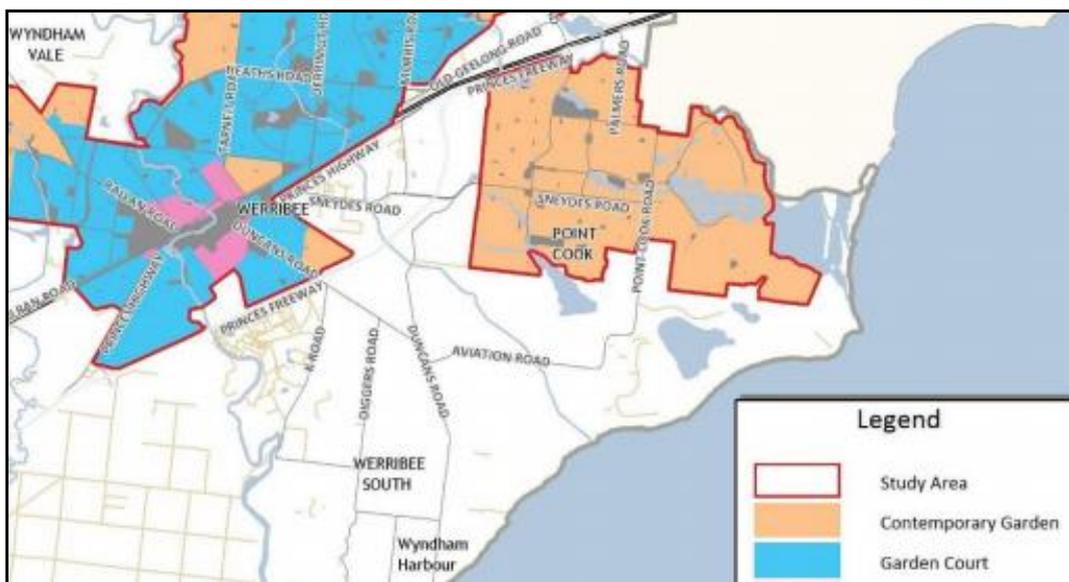
The proposal raises no significant neighbourhood character issues because the principal presentation of the new built form on the site is limited to what can be seen down the side driveway and although the new dwelling is double-storey it will be largely in keeping with neighbourhood character. The introduction of a new medium density development having limited implications for neighbourhood character as the existing medium density developments in the area have already introduced built form into the backyard area.

The Garden Court 1 (GC1) neighbourhood character for this area is addressed in a little more detail in the preferred neighbourhood character statement in the Housing and Neighbourhood Character Strategy:

The informal street spaces within the Garden Court area, which are characterised by a curvilinear street pattern, will continue to be complemented by informal landscaped spaces. The majority of Werribee and Hoppers Crossing demonstrate the Garden Court 1 character. This includes a mix of post-war to contemporary dwelling styles that have consistent spacing with at least one side setback and generous front setbacks. The spaciousness of these areas is reinforced by the low or non-existent front fencing and views of the surrounding tree canopy, river settings, gardens and parks. While many areas include consistently single storey dwellings, there are also equally many areas that have a mix of 1 and 2 storeys.

The spacious character will be retained as moderate growth is experienced through the retention and planting of new vegetation and canopy trees. Dwellings will continue to be setback from at least one side boundary and views of large canopy trees above the roof lines will be encouraged and maintained. Side and rear setbacks typical of the GC1 area will continue to provide building separation and allow for landscaping, including canopy trees.

As well the adopted Housing and Neighbourhood Character Strategy it is understood that there are likely to be planning scheme amendments that would see the introduction of a revised Neighbourhood Character Policy and proposed new Schedule 3 to the General Residential Zones in this locality. Under the revised Neighbourhood Character Policy, the subject site would still be within a Garden Court area.



Extract from Map 8 – Revised Clause 22.04 – Neighbourhood Character Areas

The proposed Schedule 3 to the General Residential Zones would have the following neighbourhood character objectives:

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- Ensure that development sits within spacious gardens
- Ensure front and private open space areas allow for the planting of trees
- Ensure a side setback to at least one property boundary

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It is submitted that these objectives are satisfied because the existing dwelling is retained, because of the extent of garden areas which allows for tree planting and because the setbacks of most of the proposed new dwelling from the site boundaries are quite generous.

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Schedule 3 would also amend the requirement for private open space in Clause 55 (Standard B28):

An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the rear or side of dwelling or residential building, with a minimum dimension of 4 metres with convenient access from a living room.

Secluded open space should not be located in the front setback of a dwelling or residential building.

The proposed development would satisfy this revised standard with respect to the dimensions (4 metres) and the total area provided for each dwelling is quite generous and the open space areas are located so as to be directly accessible from a living room.

It is also a requirement of the proposed schedule that an application be accompanied by a report which identifies how the development responds to the Character Type within which the site is located.

It is submitted that the local planning policy assessment that forms part of this submission satisfies this requirement.

The proposed development provides a compact dwelling suited to a variety of households and which will add to the level of housing diversity in this area of Hoppers Crossing. Planning policy requires that new development respect neighbourhood character but the implementation of such policy must be considered against other strategic policy which seeks to provide increased levels of housing density in established areas with good access to a range of urban facilities.

CLAUSE 55 ASSESSMENT

1 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE

PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Neighbourhood character objectives

To ensure that the design respects the existing neighbourhood character or contributes to preferred neighbourhood character.

To ensure that development responds to the features of the site and surrounding area.

Comment: The character of the nearby residential neighbourhood is marked by the presence of 1980s suburban dwellings. Although there are now a few recent medium density developments the area still largely exhibits characteristic that are typical of this part of Hoppers Crossing with reasonably well-established suburban scale gardens and most with side driveways to car parking accommodation to the side or rear of dwellings. Most original dwellings in the vicinity are single storey but 2-storey dwellings are not uncommon. The proposal utilises the depth of the site, its irregular shape and the wide north side setback. It is in keeping with neighbourhood character because it involves a contemporary suburban style dwelling that does not present as bulky or dominant, retains the existing front garden setback to Tallong Court and has a style that will sit comfortably with the existing dwelling as well as the adjoining and nearby dwellings.

Standard B1

The design response must be appropriate to the neighbourhood and the site.

The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.

Comment: As the proposal involves a contemporary suburban dwelling that will have limited presentation to Tallong Court it will be in keeping with neighbourhood character. Because of the rear location of the new dwelling it will not dominate the immediate surrounds/streetscape. Even though it has car accommodation in its limited Tallong Court elevation the setback of the garage means that this car parking does not dominate in the overall design with the location of the existing dwelling and the new dwelling generally reflecting the pattern of dwelling spacings in the area. The location of car accommodation for the new dwelling is considered suitable given many dwellings have a garage or carport in their side setback area. The layout of the dwelling and the location of its private open space make good use of site's orientation. The setback from most boundaries and therefore the separation from the adjoining dwellings also support the proposal. The proposed dwelling will sit comfortably with other nearby dwellings and in particular the newer dwellings. See also neighbourhood character discussion in policy framework section of submission.

Residential policy objectives

To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

To support medium densities in areas where development can take advantage of public transport and community infrastructure and services

Comment: Construction of one new dwelling on the site will satisfy urban consolidation policy and local policy by increasing housing choice in an area that overall still comprises many single family homes. The site is well located to take advantage of services and facilities. It is close to schools; a local shopping/activity centre and bus services that provide access to a railway station.

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Standard B2

An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

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Comment: See Policy Framework Section of Submission.

Dwelling diversity objective

To encourage a range of dwelling sizes and types in developments of ten or more dwellings.

Comment: N/A – two dwelling development.

Standard B3

Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:

- Dwellings with a different number of bedrooms
- At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.

Comment: N/A – but the proposed dwelling provides an alternative to the older single family homes in the area. The dwellings that will result from this development are on smaller sites and are a two-bedroom and a three-bedroom dwelling well suited to a variety of households.

Infrastructure objectives

To ensure development is provided with appropriate utility services and infrastructure.

To ensure development does not unreasonably overload the capacity of utility services and infrastructure.

Standard B4

Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.

Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.

In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading or of mitigation of the impact on services or infrastructure.

Comment: The site is located in an established residential area. All services/infrastructure are available and the proposed one additional dwelling on a lot presently occupied by one dwelling is unlikely to exceed this infrastructure. Tallong Court the local street network easily able to accommodate additional vehicles.

Integration with the street objective

To integrate the layout of development with the street.

Comment: The proposed dwelling will partly present to the Tallong Court frontage from along the side driveway and will be as much a part of Tallong Court as the existing and adjoining dwellings which also present to this street.

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Standard B5

Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.

Developments should be oriented to front existing and proposed streets.

High fencing in front of dwellings should be avoided if practicable.

Development next to existing public open space should be laid out to complement the open space.

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Comment: Standard satisfied as the new dwelling will be linked to Tallong Court by the extended side driveway. A new dwelling frontage will not be introduced to Tallong Court but the new dwelling will easily integrate with other dwellings in the manner of rear dwellings in other similar tandem developments. The entry of the new dwelling provides for a suitable connection to Tallong Court. Entry areas to both the dwellings are clearly and easily visible. The site does not adjoin open space.

2 SITE LAYOUT AND BUILDING MASSING

Street setback objective

To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.

Comment: Most older original dwellings in this section Iluka Drive and the area have front setbacks that are generally in the range around 6-7+ metres. The proposed dwelling will be located to the rear of the existing dwelling so street frontage setback is not an issue for this development.

Standard B6

Walls of buildings should be set back from streets:

- At least the distance specified in the schedule to the zone, or
 - If no distance is specified in the schedule to the zone, the distance specified in Table B1
- Porches, pergolas and verandahs that less than 3.6 metres high and eaves may encroach not more than 2.5 metres to the setbacks of this standard.
- Porches, pergolas and verandahs less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setback.

Comment: This standard satisfied.

Building height objective

To ensure that the height of buildings respects the existing or preferred neighbourhood character.

Comment: Most dwellings in the immediate area are single storey but this proposal involves a double storey dwelling.

Standard B7

The maximum building height should not exceed:

- The maximum height specified in the schedule to the zone, or
- If no maximum height is specified in the schedule to the zone, 9 metres.

Changes of building height between existing buildings and new buildings should be graduated.

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Comment: Standard satisfied – new double storey dwelling is less than 9 metres high.

Site coverage objective

To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.

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Comment: Size of lots in area means that many of the original single dwellings have quite low site coverage. This is a relatively low-density proposal facilitated by the large backyard area of the existing dwelling.

Standard B8

The site area covered by buildings should not exceed:

- The maximum site coverage specified in the schedule to the zone, or
- If no maximum site coverage is specified in the schedule to the zone, 60 per cent.

Comment: Standard satisfied – site coverage is 36.4%.

Permeability objectives

To reduce the impact of increased stormwater run-off on the drainage system.

To facilitate on-site stormwater infiltration.

To encourage stormwater management that maximises the retention and reuse of stormwater.

Standard B9

At least 20 percent of the site should not be covered by impervious surfaces.

The stormwater management system should be designed to:

- Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).

Comment: This standard satisfied because of site coverage and extent of landscaping in front setbacks and open space areas. Approximately 40% of site is pervious area.

Energy efficiency objectives

To achieve and protect energy efficient dwellings and residential buildings.

To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

Comment: Development involves a double storey dwelling that it is well located in relation to orientation of the site and adjoining dwellings.

Standard B10

Buildings should be:

- Oriented to make appropriate use of solar energy
- Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.

Living areas and private open space should be located on the north side of the development, if practicable.

Developments should be designed so that solar access to north-facing windows is maximised.

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Comment: Standard satisfied - new dwelling's living area located to take advantage of east-west orientation of the site. The open space for the existing dwelling is located so as to receive northern light. Good solar penetration to the new dwelling and no significant impact on solar access to existing dwelling or the adjoining dwellings to the south and west.

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Open space objective

To integrate the layout of development with any public and communal open space provided in or adjacent to the development.

Comment: Site does not adjoin open space and there is no communal open space in layout.

Standard B11

If any public or communal open space is provided on site, it should:

- Be substantially fronted by dwellings, where appropriate.
- Provide outlook for as many dwellings as practicable.
- Be designed to protect any natural features on the site.
- Be accessible and useable.

Comment: No communal open space in layout.

Safety objective

To ensure the layout of development provides for the safety and security of residents and property.

Comment: Layout is typical for a reasonably conventional tandem dwelling unit where the rear of an allotment is being developed. This will provide secure living areas (as well as ground level private open space) and a good standard of safety for residents.

Standard B12

Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.

Planting which creates unsafe spaces along streets and accessways should be avoided.

Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.

Private spaces within developments should be protected from inappropriate use as public thoroughfares.

Comment: Standard satisfied - entry to both dwellings is visible because of location of these entries in relation to Tallong Court. The driveway for the new dwelling also provides pedestrian access to this dwelling and its porch entry area will be visible from along the extended driveway. Future planting will not create unsafe spaces. The ground level open spaces are private and secure - as secure as the backyard of the existing dwelling.

Landscaping objectives

To encourage development that respects the landscape character of the neighbourhood.

To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.

To provide appropriate landscaping.

To encourage the retention of mature vegetation on the site.

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Comment: Site is presently occupied by one dwelling – there are a no large trees on site and generally there are few large canopy trees in the area – overall the garden area at the Tallong Court frontage is suburban in scale and generally the site cannot be seen as being heavily landscaped although it does make a minor contribution to the character of the immediate area of Tallong Court. The layout retains most of the existing front garden area and provides opportunity for new landscaping in the private open space areas.

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Standard B13

The landscape layout and design should:

- Protect any predominant landscape features of the neighbourhood.
- Take into account the soil type and drainage patterns of the site.
- Allow for intended vegetation growth and structural protection of buildings.
- In locations of habitat importance, maintain existing habitat and provided for new habitat for plants and animals.
- Provide a safe, attractive and functional environment for residents.

Development should provide for the retention of planting of trees, where these are part of the character of the neighbourhood.

Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.

The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.

Comment: There are no large trees on the site and although site is located in an area of established gardens these are generally suburban in scale with few large trees, and not all properties have significant vegetation– they are more traditional suburban scale low level garden plantings. Size of site and location of the existing and proposed dwelling provides opportunity for landscaping and medium canopy trees could be planted in the retained front setback or in the new private open space areas. Any new planting will soften the appearance of development to a standard comparable with the nearby dwellings. Retained landscaping will be generally comparable with that provided in the front gardens of most dwellings in Tallong Court.

Access objective

To ensure the number and design of vehicle crossovers respects the neighbourhood character.

Comment: Suitable vehicle access is provided to site and both the dwellings.

Standard B14

The width of accessways or car spaces should not exceed:

- 33 per cent of the street frontage, or
- if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.

No more than single-width crossover should be provided for each dwelling fronting a street.

The location of crossovers should maximise the retention of on-street car parking spaces.

The number of access points to a road in a Road Zone should be minimised.

Developments must provide for access for service, emergency and delivery vehicles.

Comment: Car spaces and driveway have a suitable connection to local street network via the existing crossover. Standard satisfied.

Parking location objectives

To provide convenient parking for resident and visitor vehicles.

To protect residents from vehicular noise within developments.

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Comment: Standard satisfied – new dwelling incorporates a single garage and one car space in driveway. A new single car space is provided for the existing dwelling. The location of this car parking is convenient to each dwelling. The layout of this development, the number of dwellings proposed and the width of the north side driveway setback means that residents of the existing dwelling will not be impacted by vehicle noise.

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Standard B15

Car parking facilities should:

- Be reasonably close and convenient to dwellings and residential buildings.
- Be secure.
- Be well ventilated if enclosed.

Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.

Comment: Standard satisfied – garage and cars paces are close and convenient to both dwellings. New car space for existing dwelling is suitably located in relation to entry area.

3 AMENITY IMPACTS

Side and rear setbacks objectives

To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Comment: Most dwellings in area are generally located off side/rear boundaries except perhaps for garage walls.

Standard B17

A new building not on or within 200 mm of a boundary should be set back from side or rear boundaries:

- At least the distance specified in the schedule to the zone, or
- If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.

Comment: The height and setback of the double storey dwelling proposed satisfies this height related setback standard.

Walls on boundaries objective

To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Comment: Walls on boundaries in area are generally limited to garage walls. This proposal has one section of garage wall on north side boundary.

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Standard B18

A new wall constructed on or within 200 mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary for a length of more than:

- 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or
- Where they are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater.

A building on a boundary includes a building set back up to 200 mm from a boundary. The height of a new wall constructed on or within 150 mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.

Comment: This standard satisfied.

Daylight to existing windows objective

To allow adequate daylight into existing habitable room windows.

Comment: Because of setbacks proposed, the orientation of the site and the location of the new dwelling in relation to neighbouring dwellings there will be no problems with significant overshadowing of these adjoining dwellings or their private open space areas.

Standard B19

Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot. Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window. Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.

Comment: This standard is satisfied because of setbacks/location of adjoining dwellings to the west and south and because of the size of the open space/backyard areas of the adjoining Tallong Court and Melaleuca Drive dwellings.

North-facing windows objective

To allow adequate solar access to existing north-facing habitable room windows.

Comment: There are no north facing windows in the adjoining dwelling that would be affected.

Standard B20

If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.

Comment: Standard satisfied.

Overshadowing open space objective

To ensure buildings do not significantly overshadow existing secluded private open space.

Comment: Noting the size and/or location of the open space of the dwellings to the east and west in Tallong Court there would be no significant overshadowing of the open space areas of these adjoining dwellings. Private open space of the dwelling to the rear is situated to the north of the site

Standard B21

Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

Comment: Standard satisfied because of setbacks, orientation of site and the size and location of open space areas of adjoining dwellings.

Overlooking objective

To limit views into existing secluded private open spaces and habitable room windows.

Comment: No problems with overlooking because of use of obscure glazing.

Standard B22

A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio.

Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.

A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:

- Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.
- Have sill heights of at least 1.7 metres above floor level.
- Have fixed, obscure glazing in any part of the window below 1.7 above floor level.
- Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.6 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

Comment: This standard satisfied by internal and site boundary fencing and obscure glazing to first floor windows.

Internal views objective

To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

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Comment: The first-floor windows in the eastern wall of the proposed dwelling are obscure glazed so no views are available to the private open space of the existing dwelling.

Standard B23

Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.

Comment: Standard satisfied.

Noise impacts objectives

To contain noise sources in developments that may affect existing dwellings.
To protect residents from external noise.

Standard B24

Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.
Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.
Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.

Comment: No major noise sources in immediate area and no mechanical plant proposed other than domestic equipment.

4 ON-SITE AMENITY AND FACILITIES

Accessibility objective

To encourage the consideration of the needs of people with limited mobility in the design of developments.

Standard B25

The ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.

Comment: Ground floor of both dwellings could be made accessible to persons of limited mobility.

Dwelling entry objective

To provide each dwelling or residential building with its own sense of identity.

Standard B26

Entries to dwellings and residential buildings should:

- Be visible and easily identifiable from streets and other public areas.
- Provide shelter, a sense of personal address and a transitional space around the entry.

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Comment: Standard satisfied - both dwellings will clearly have a Tallong Court address. The entry areas, the driveway, and the dwelling separation provide each of the dwellings with a suitable sense of address. This delineation, the driveway and the front setback provide a suitable transitional area.

Daylight to new windows objective

To allow adequate daylight into new habitable room windows.

Standard B27

A window in a habitable room should be located to face:

- An outdoor space open to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or
- A verandah provided it is open for at least one third of its perimeter, or
- A carport provided it has two or more open sides and is open for at least one third of its perimeter.

Comment: All windows in the existing and the proposed new dwelling will face a suitable open area in satisfaction of this standard.

Private open space objective

To provide adequate private open space for the reasonable creation and service needs of residents.

Standard B28

A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone.

If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building should have private open space consisting of:

- An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room.
- A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room

Comment: This current standard satisfied.

Solar access to open space objective

To allow solar access into the secluded private open space of new dwellings and residential buildings.

Standard B29

The private open space should be located on the north side of the dwelling or residential building, if appropriate.

The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9 h)$ metres, where "h" is the height of the wall.

Comment: The existing dwelling and the proposed dwelling up provided with a suitably large and useable open space area. Dimensions of private open space immediately to the rear of the

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existing dwelling does satisfies this standard and this dwelling also has another area of private open space located to its north side.

Storage objective

To provide adequate storage facilities for each dwelling.

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Date Plans Provided: 28/07/2021

Standard B30

Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.

Comment: Ground level private open space areas of each dwelling are large enough to accommodate a storage facility without compromising the useability or amenity of these areas.

5 DETAILED DESIGN

Design detail objective

To encourage design detail that respects the existing or preferred neighbourhood character.

Standard B31

The design of buildings, including:

- Façade articulation and detailing,
- Window and door proportions,
- Roof form, and
- Verandahs, eaves and parapets,

should respect the existing or preferred neighbourhood character.

Garages and carports should be visually compatible with the development and the existing of preferred neighbourhood character.

Comment: New dwelling is designed and detailed in a contemporary suburban manner in keeping with the 1980s suburban built form in the area. The style is essentially suburban with regards to form and scale and is reflective of other original dwellings. The dwelling is in keeping with other medium density dwellings in the precinct such as can be on the corner of Tallong Court and Yandina Drive. Door and window proportions are acceptable. The new car space for the existing dwelling does not encroach significantly on the front setback or the overall Tallong Court elevation and so car accommodation is not a dominant component of the street elevation.

Front fence objective

To encourage front fence design that respects the existing or preferred neighbourhood character.

Standard B32

The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.

A front fence within 3 metres of a street should not exceed:

- The maximum height specified in the schedule to the zone, or
- If no maximum height is specified in the schedule to the zone, the maximum height specified in Table B3.

Comment: Mainly no front fences in the wider area. The only dwelling in court with a front fence is the adjoining dwelling at No. 3. Site presently has no fence at the Tallong Court frontage.

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A new section of fencing is proposed down the side driveway (but not across the site) to secure the private open space of the existing dwelling. No new front fence is proposed at the Tallong Court frontage

PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date files provided: 25/07/2021

Common property objectives

To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.

To avoid future management difficulties in areas of common ownership.

Standard B33

Developments should clearly delineate public, communal and private areas.

Common property, where provided, should be functional and capable of efficient management.

Comment: The only common property that would be created upon subdivision of the development is a section of partly shared driveway near the Tallong Court frontage. This will present no maintenance or management problems

Site services objectives

To ensure that site services can be installed and easily maintained.

To ensure that site facilities are accessible, adequate and attractive.

Standard B34

The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.

Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.

Bin and recycling enclosures should be located for convenient access by residents.

Mailboxes should be provided and located for convenient access as required by Australia Post.

Comment: Layout and detached built form (setback off north side boundary, rear boundary and south side boundary) means both dwellings will be able to access services in Tallong Court (if any) and any in the easement along or near the rear boundary. No problems with easements – if required these will be implied in the event of future subdivision. No need for bin enclosures and a letterbox can be provided for the new dwelling at the Tallong Court frontage.

Clause 52.06 – Car Parking

Clause 52.06-5 Number of car parking spaces required under Table 1

The provision of a single garage and a driveway car space for the new dwelling and a single car space for the existing dwelling (which has been be modified to become a two-bedroom dwelling) satisfies the requirements of the table to this clause. The provision of just a car space for the existing dwelling is acceptable pursuant to Clause 52.06-9

Clause 52.06-7 Requirement for a car parking plan

The submitted plans satisfy the requirements of this clause.

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Clause 52.06-8 Design standards for car parking

Design standard 1 – Accessways

Proposal relies on a single driveway serving both dwellings with vehicles being able to exit the site to the street (Tallong Court) in a reverse direction in the manner of egress from a detached house with a side driveway. Because of the number of vehicles to be accommodated on site there is no need for vehicles to be able to exit the site in a forward direction

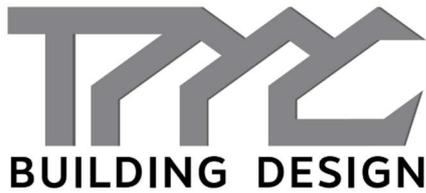
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Design standard 2 – Car parking spaces

This standard satisfied.

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TMC Building Design
19 Fernwood Drive
Hoppers Crossing,
3092

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PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:
E: tony@tmcbuildingdesign.com.au
Date Plans Provided: 28/07/2021

T: (03) 9749 6348
M +61 0412 803 653

Amended Planning Permit Description Report

Address: 4 Tallong Court, Hoppers Crossing Vic 3029

Planning Permit Application: WYP12514/20

Descriptions of Changes Sought

- The carparking space set forward of the dwelling as now been moved to the side of the existing dwelling to allow for increased landscaping to front garden area.
- Existing dwelling study wall has been removed and a new sliding door has been proposed to provide access to the private open space, this allows for an increased opening living/family room with direct access to the private open space.
- Rear unit ground floor and first floor has been redesigned to allow for further windows along the north-west and western side of the dwelling to meet standard B10.
- The addition of a proposed verandah has been including to the rear unit whilst still meeting the garden are and permeability requirements.
- Further information has been provided on the landscape plan regarding details about letterbox/clothesline/garden sheds.
- The garden shed has been relocated at the rear dwelling.
- Extra shadow diagrams have been provided with all structures that affect the neighbouring properties now provided.
- Extra sheet added to provide details of removal of existing pool and carport.
- Note added on sheets indicating the existing double crossover is to be replaced.

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