

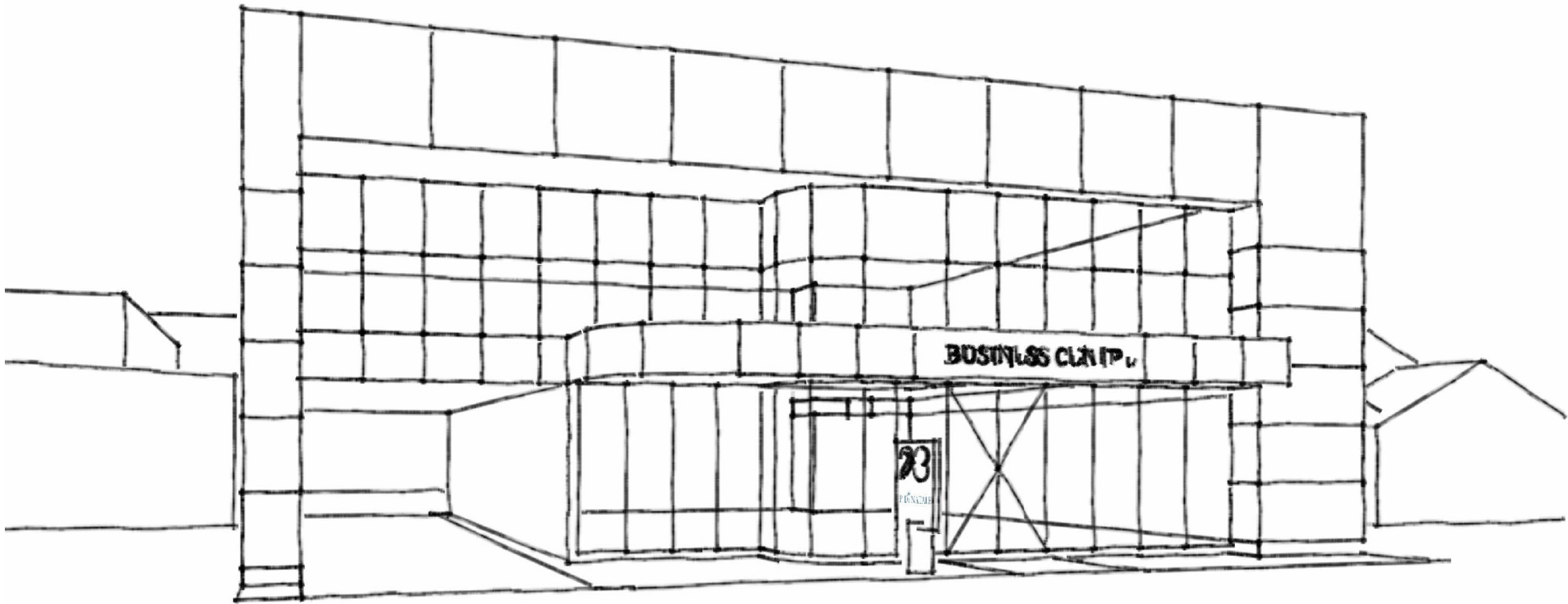
Planning Permit Application for Commercial Development at 23 Princes Hwy., Werribee

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Date Plans Provided: 19/03/2024

TP01	SITE CONTEXT PLAN/DEMOLITION PLAN	1:200
TP02	SITE PLAN	1:200
TP03	GROUND FLOOR PLAN	1:100
TP04	FIRST FLOOR PLAN	1:100
TP05	ROOF PLAN	1:100
TP06	ELEVATIONS	1:100
TP07	ELEVATIONS	1:100

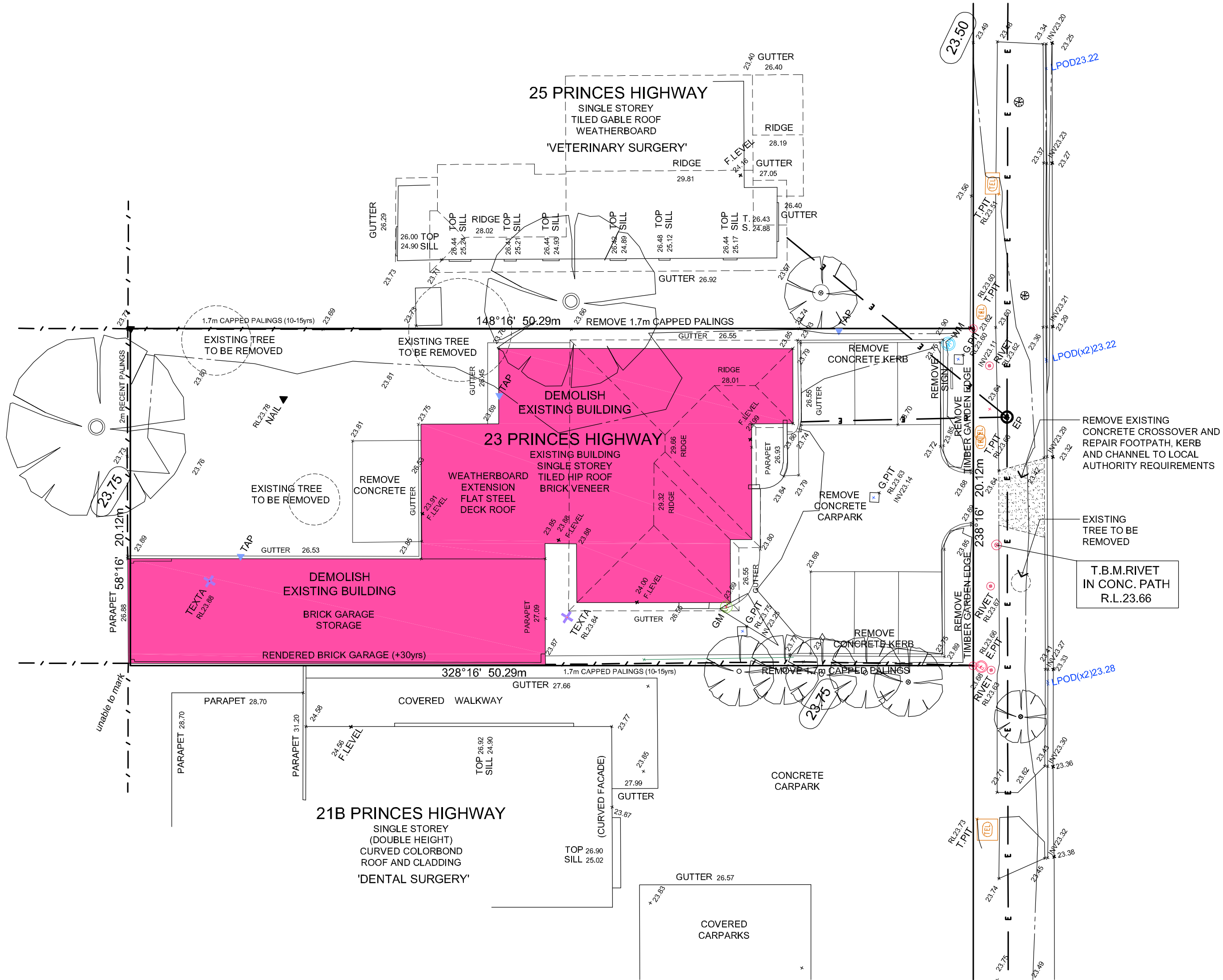
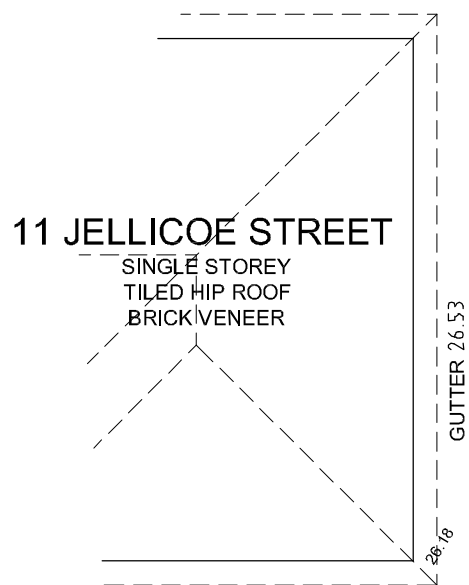


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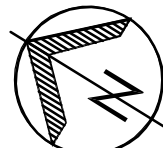

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Date Plans Provided: 19/03/2024

(SERVICE ROAD)
PRINCES HIGHWAY



SITE CONTEXT & DEMOLITION PLAN

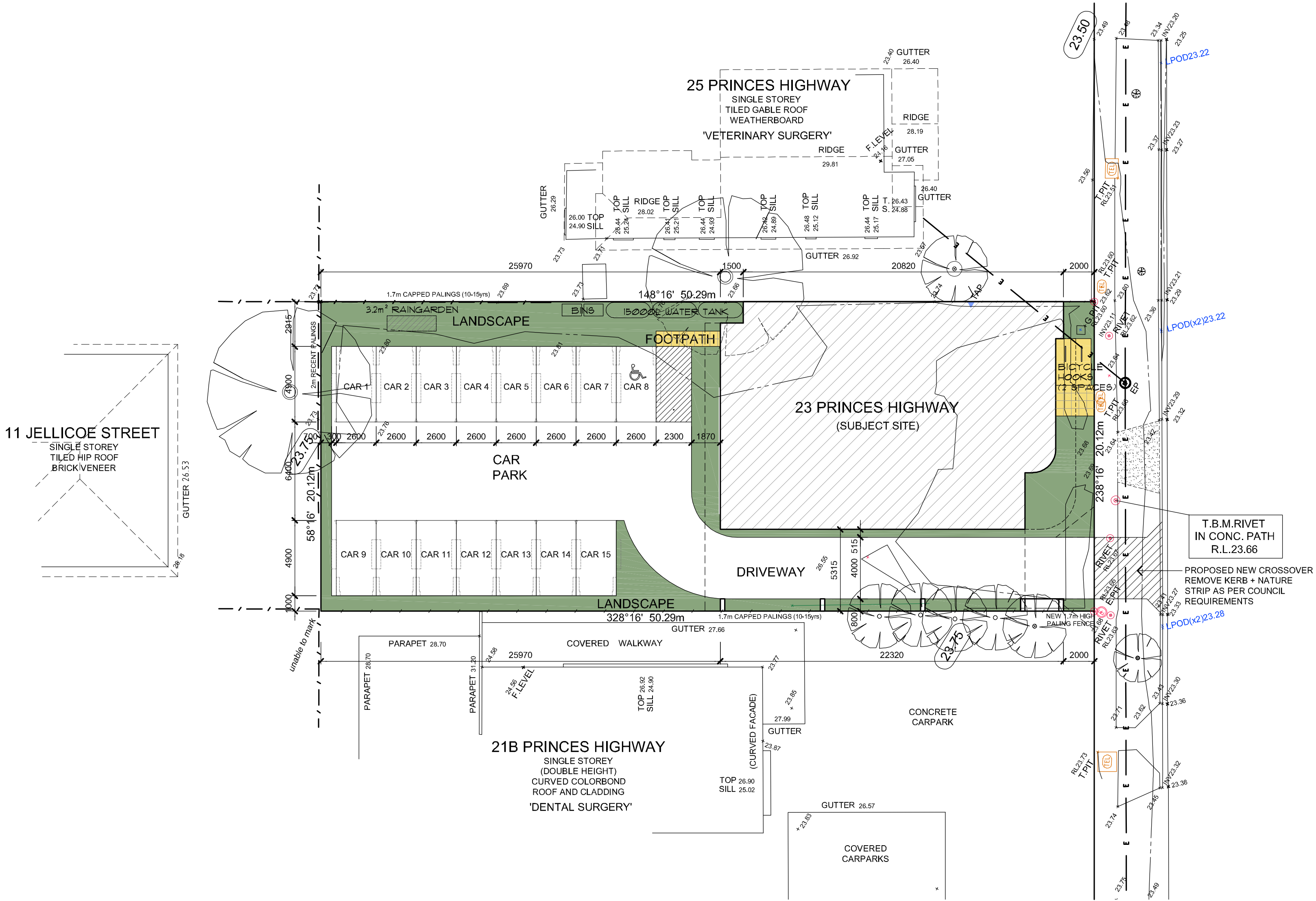
NOTES <ul style="list-style-type: none">DO NOT SCALE DRAWINGS.FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALE.VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS.ANY DISCREPANCIES SHALL BE REFERRED TO THE AUTHOR.THIS DRAWING IS STRICTLY COPYRIGHT, AND SHALL NOT BE COPIED, REPRODUCED, LENT OR USED FOR ANY PURPOSES OTHER THAN AS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR. <p>© COPYRIGHT 2024</p>	 <p>Project DEVELOPMENT AT 23 PRINCES HIGHWAY WERRIBEE 3030</p>	<p>Drawing SITE CONTEXT & DEMOLITION PLAN</p> <p>NOT FOR CONSTRUCTION</p>	 <p>Suite 4, 3 Male Street Brighton, Victoria 3186</p> <p>Tel: 9591 0144 www.fine-line.net.au</p>	<p>WYNDHAM CITY COUNCIL</p> <p>Town Planning Advised Documents TP01</p> <p>Scale 1:100 Drawing No. TP01 Amendment No. A Plan: 2 of 8 PLOT DATE: 20 Feb 2024</p>
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(SERVICE ROAD)
PRINCES HIGHWAY



WATER & STORMWATER MANAGEMENT

- ROOF CATCHMENT AREA TO BE DIVERTED TO THE RAINWATER TANK FOR THE DEVELOPMENT - IF REQUIRED, USE CHARGED PIPE SYSTEM, CHARGED PIPES WILL NOT BE RUNNING UNDERNEATH THE BUILDING FOOTPRINT.
- RAINWATER TANK TO BE CONNECTED TO TOILET FLUSHING THROUGHOUT THE DEVELOPMENT.
- DRIVEWAY/CAR PARK AREA TO BE DIVERTED TO INGROUND RAINGARDEN.
- USE OF NATIVE OR DROUGHT TOLERANT SPECIES FOR LANDSCAPED AREA. WATERING WILL NOT BE REQUIRED AFTER AN INITIAL PERIOD WHEN PLANTS ARE GETTING ESTABLISHED.
- WELS RATING FOR WATER FITTINGS/FIXTURES (REFER TO REPORT) - FIXTURES (E.G. DISHWASHER) PROVIDED AS PART OF BASE BUILDING WORK HAVE TO BE CHOSEN WITHIN ONE WELS STAR OF BEST AVAILABLE AT THE TIME OF PURCHASE.

ENERGY EFFICIENCY

- COMMITMENT TO EXCEEDING SECTION J ENERGY EFFICIENCY REQUIREMENT OF NCC 2019.
- MAXIMUM ILLUMINATION POWER DENSITY (4.5W/m²) OF THE DEVELOPMENT MEET THE REQUIREMENTS IN NCC 2019
- LIGHTING SENSORS FOR EXTERNAL LIGHTING (MOTION DETECTORS, TIMERS ETC.)
- 6KW SOLAR PV SYSTEM ON THE ROOF OF THE DEVELOPMENT
- LIGHT COLOURED ROOFING MATERIAL (SA<0.45)
- FOSSIL-FUEL FREE, ALL ELECTRIC DEVELOPMENT

INDOOR ENVIRONMENT QUALITY

- COMMITMENT TO OUTSIDE AIR FAN IN OFFICE PROVIDING O/A RATES 50% ABOVE MINIMUM FROM AS1668 AND O/A PROVISION TO ENSURE CO2 CONCENTRATION REMAINS BELOW 800PPM.
- EXTERNAL FIXED SHADING FOR NORTH-WEST FACING GLAZING AT GROUND AND FIRST FLOOR OFFICE SPACES.
- GLAZING TO IMPROVE DAYLIGHT PERFORMANCE BY MAXIMISING VLT TARGETING 40%

TRANSPORT

- 2 BIKE SPACES, 1 SHOWER, AND MINIMUM OF 2 LOCKERS IN THE DEVELOPMENT.
- 1 ELECTRIC VEHICLE CHARGING INFRASTRUCTURE TO BE PROVIDED IN THE CAR PARK (MIN. LEVEL 2 - 32AMP).

Site Areas:	
SITE AREA	1012m²
BUILDING SITE COVERAGE	311m² = 30.7%
CAR PARKING SPACE	15
BIKE SPACE	2

Floor Areas:	
GROUND FLOOR	311m²
FIRST FLOOR	373m²
TOTAL	684m²

Net Areas:	
GROUND FLOOR NET AREA	292m² or 31.4 sq
TENANCY	193m² or 20.8 sq
LOBBY AND HALLWAY	72m² or 7.7 sq
AMENITIES & KIT.	27m² or 2.9 sq
STAIR AND LIFT(NOT INCLUDED)	19m² or 2.0 sq
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AMENITIES, KIT, AND STORE	45m² or 4.8 sq
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SITE PLAN

NOTES

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**DEVELOPMENT AT
23 PRINCES HIGHWAY
WERRIBEE 3030**

Drawing

SITE PLAN

NOT FOR CONSTRUCTION

FINE LINE
BUILDING DESIGN

Suite 4, 3 Male Street
Brighton, Victoria 3186

Tel: 9591 0144
www.fineline.net.au

**Town Planning
Advised Documents**

Scale: 1:100

Drawn: FL

Checked: **Plan: 3 of 8**

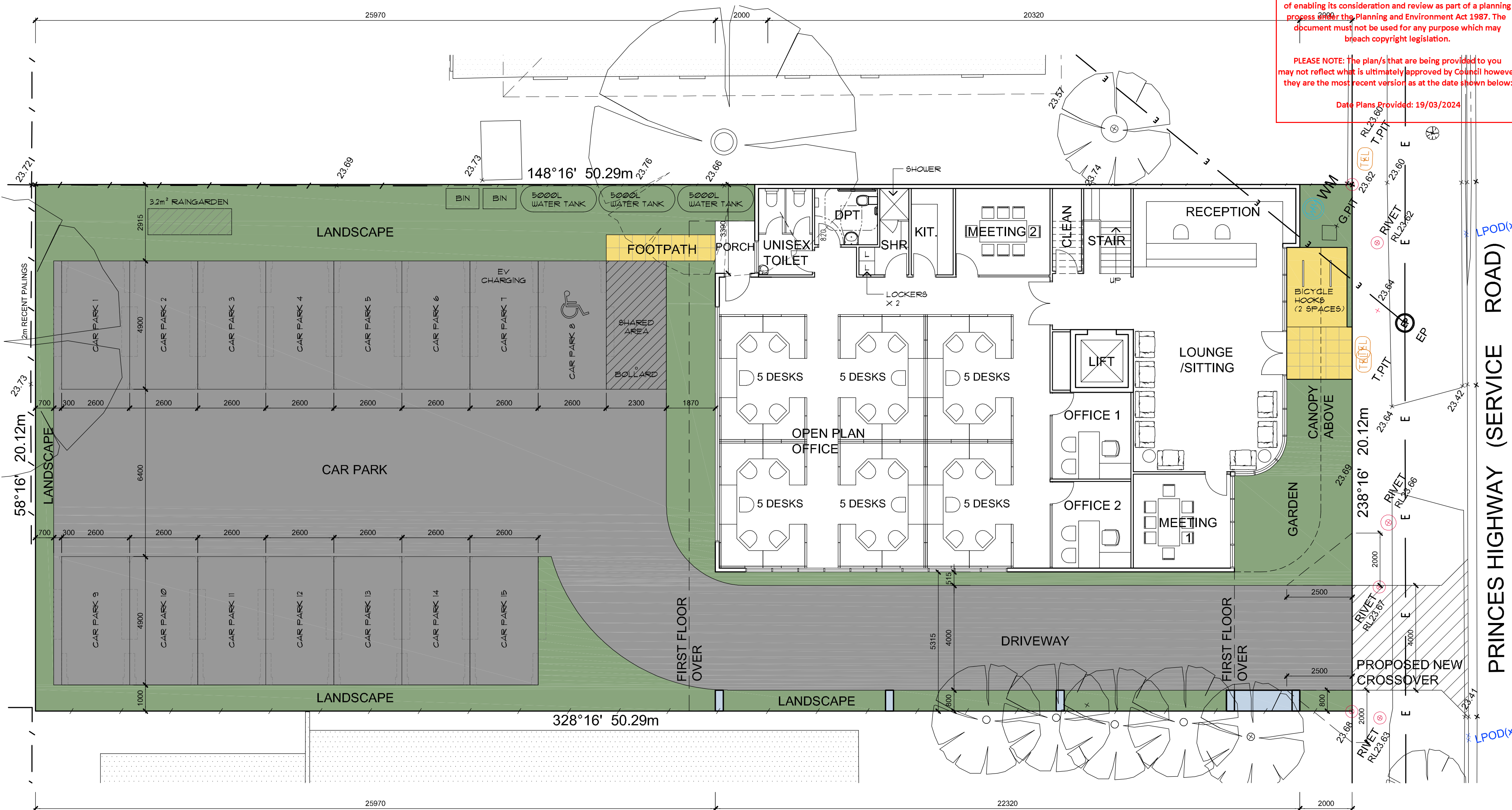
Amendment No. **A**

PLOT DATE: 20 Feb 2024

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GROUND FLOOR PLAN

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DEVELOPMENT AT 23 PRINCES HIGHWAY WERRIBEE 3030

Drawing

GROUND FLOOR PLAN Concept

NOT FOR CONSTRUCTION

Suite 4, 3 Male Street
Brighton, Victoria 3186

Tel: 9591 0144
www.fine-line.net.au

FINE LINE
BUILDING DESIGN

WYNDHAM CITY COUNCIL

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Advised Documents

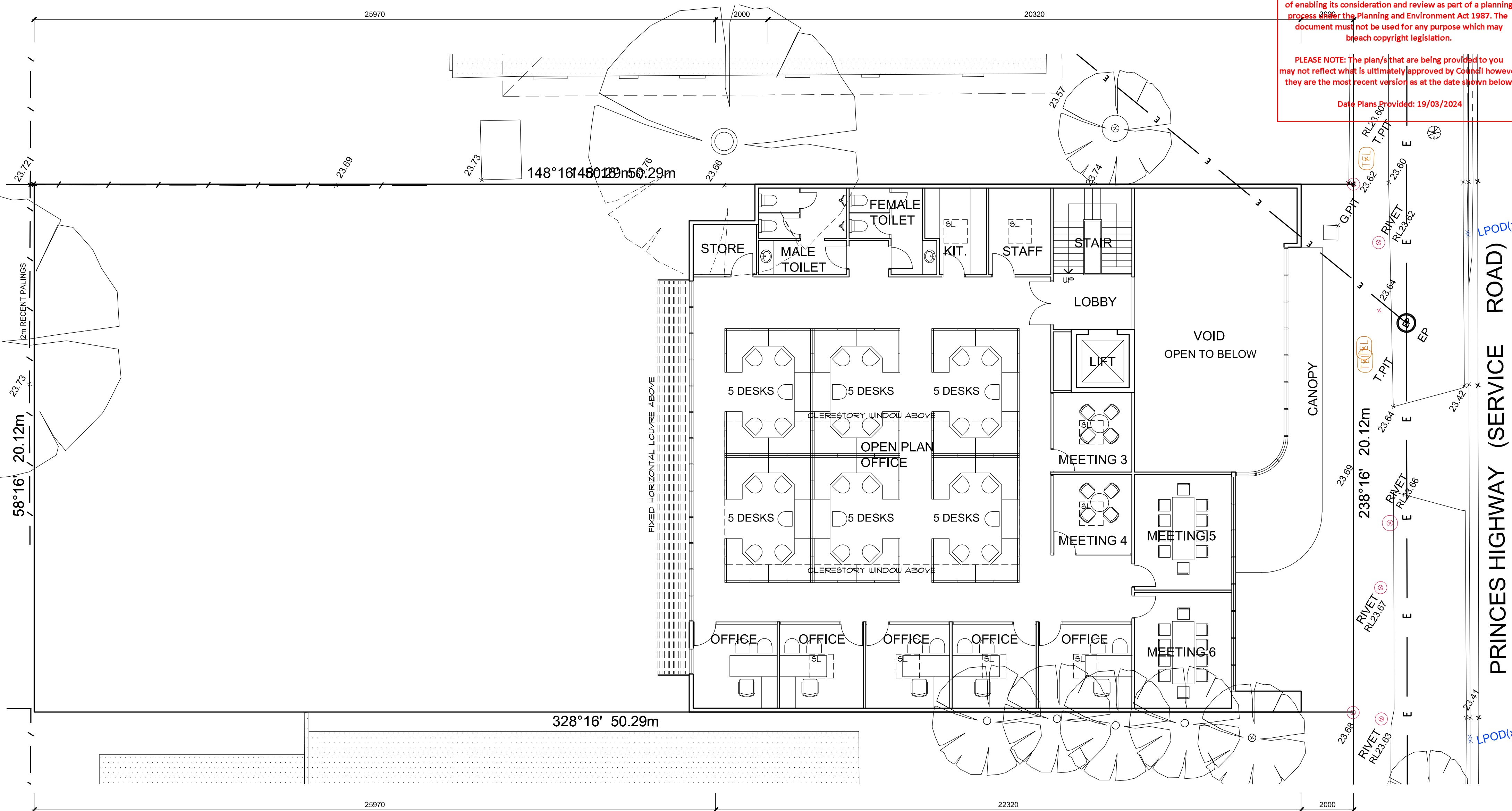
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Drawn: FL

Checked: **Plan: 4 of 8**

Amendment No. **A**

PLOT DATE: 20 Feb 2024



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FIRST FLOOR
PLAN

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**DEVELOPMENT AT
23 PRINCES HIGHWAY
WERRIBEE 3030**

Drawing

**FIRST FLOOR PLAN
Concept**

NOT FOR CONSTRUCTION

**FINE LINE
BUILDING DESIGN**

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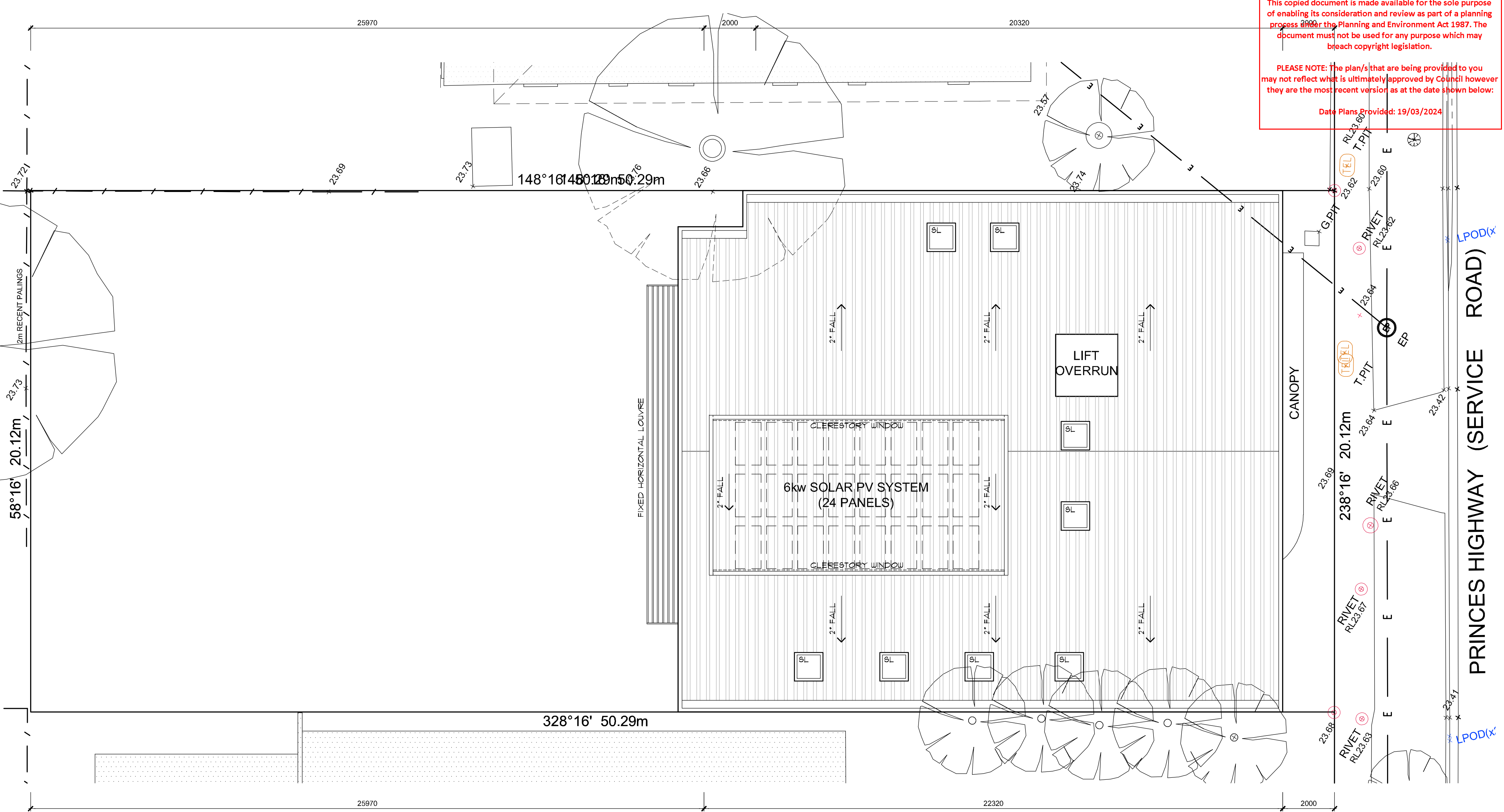
Scale: 1:100

Drawn: FL

Checked: **Plan: 5 of 8**

Amendment No. **A**

PLOT DATE: 20 Feb 2024



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ROOF PLAN

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**DEVELOPMENT AT
23 PRINCES HIGHWAY
WERRIBEE 3030**

Drawing

ROOF PLAN

NOT FOR CONSTRUCTION

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Brighton, Victoria 3186

Tel: 9591 0144
www.fineonline.net.au

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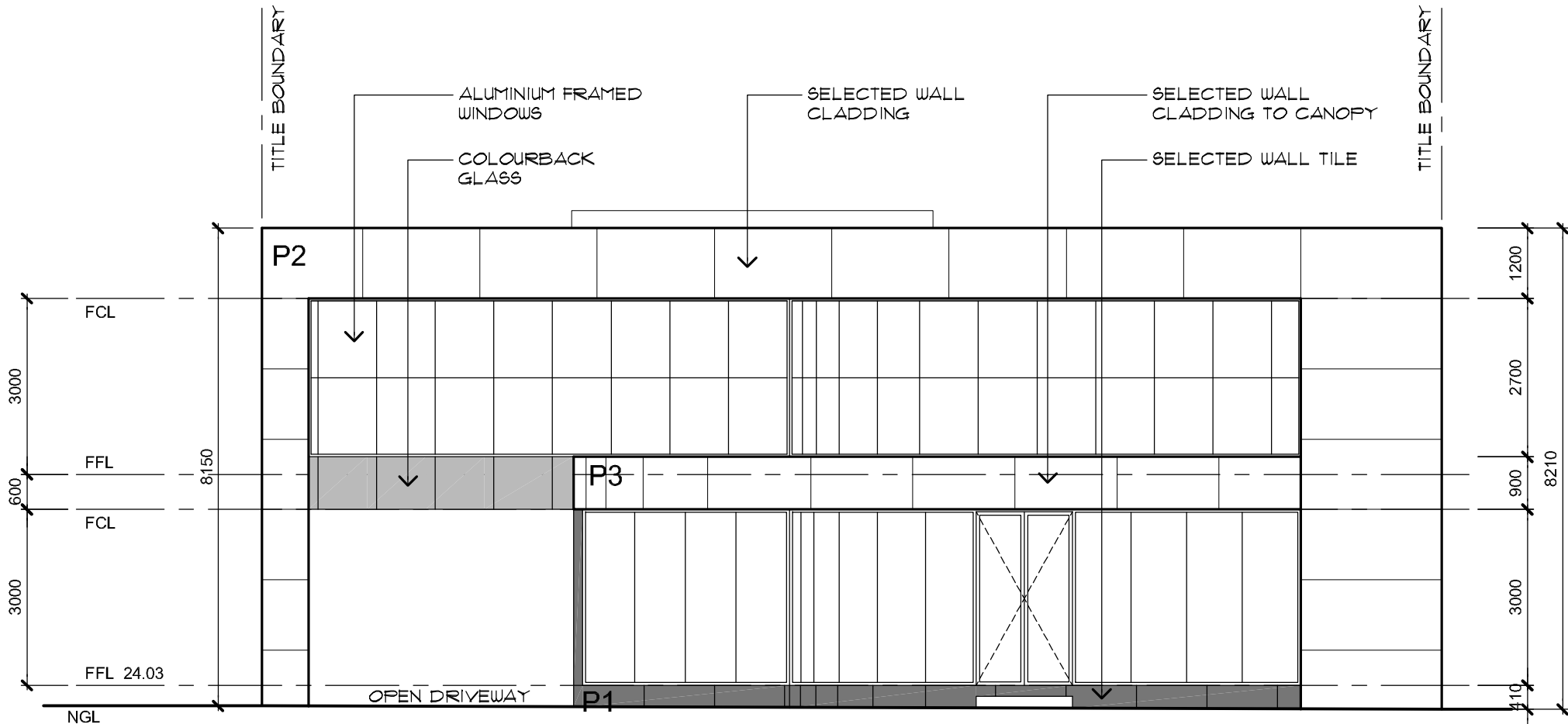
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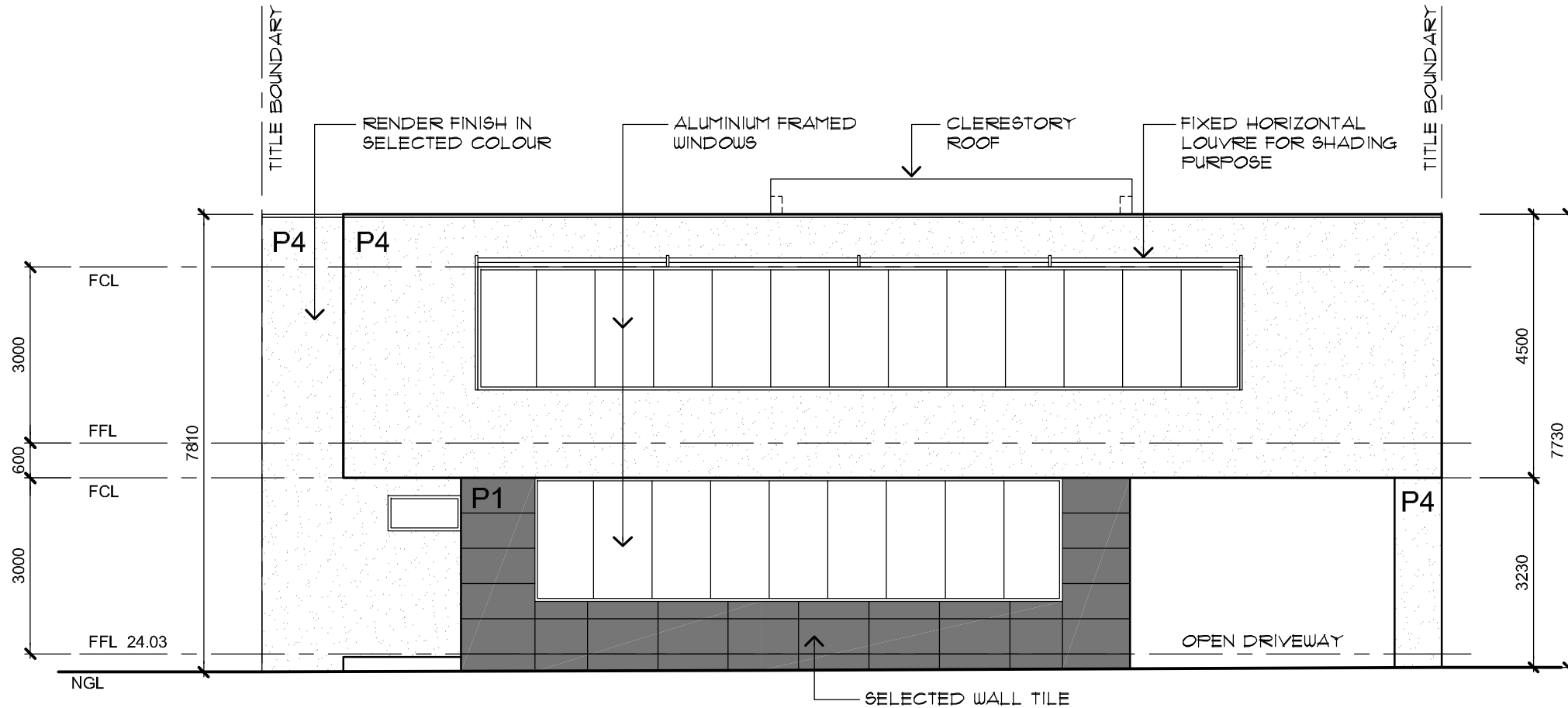
Checked: **Plan: 6 of 8**

Amendment No. **A**

PLOT DATE: 20 Feb 2024



SOUTH-EAST ELEVATION (FRONT)



NORTH-WEST ELEVATION

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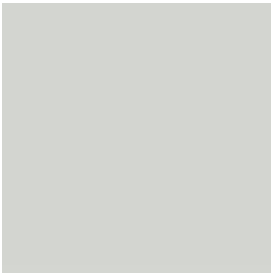
Date Plans Provided: 19/03/2024

Proposed External Materials
And Finishes Schedule



P1

FRONTEK EXTERNAL WALL TILE
MERCURIO 600 X 1200
TO GROUND FLOOR EXTERNAL
WALL



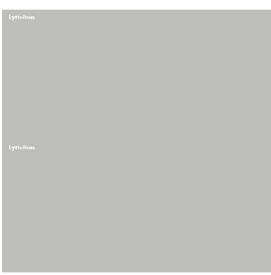
P2

VITRACORE G2 CLADDING PANEL
COSMIC TO FRONT AND SIDE
FACADE EXTERNAL WALL AS
INDICATED



P3

VITRACORE G2 CLADDING PANEL
ASTRO TO FRONT FACADE CANOPY



P4

RENDER FINISH
IN LYTTTELTON TO EXTERNAL
WALL AS INDICATED

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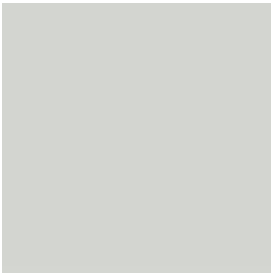
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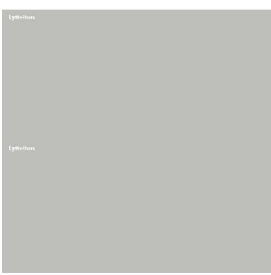
P1
FRONTEK EXTERNAL WALL TILE
MERCURIO 600 X 1200
TO GROUND FLOOR EXTERNAL
WALL



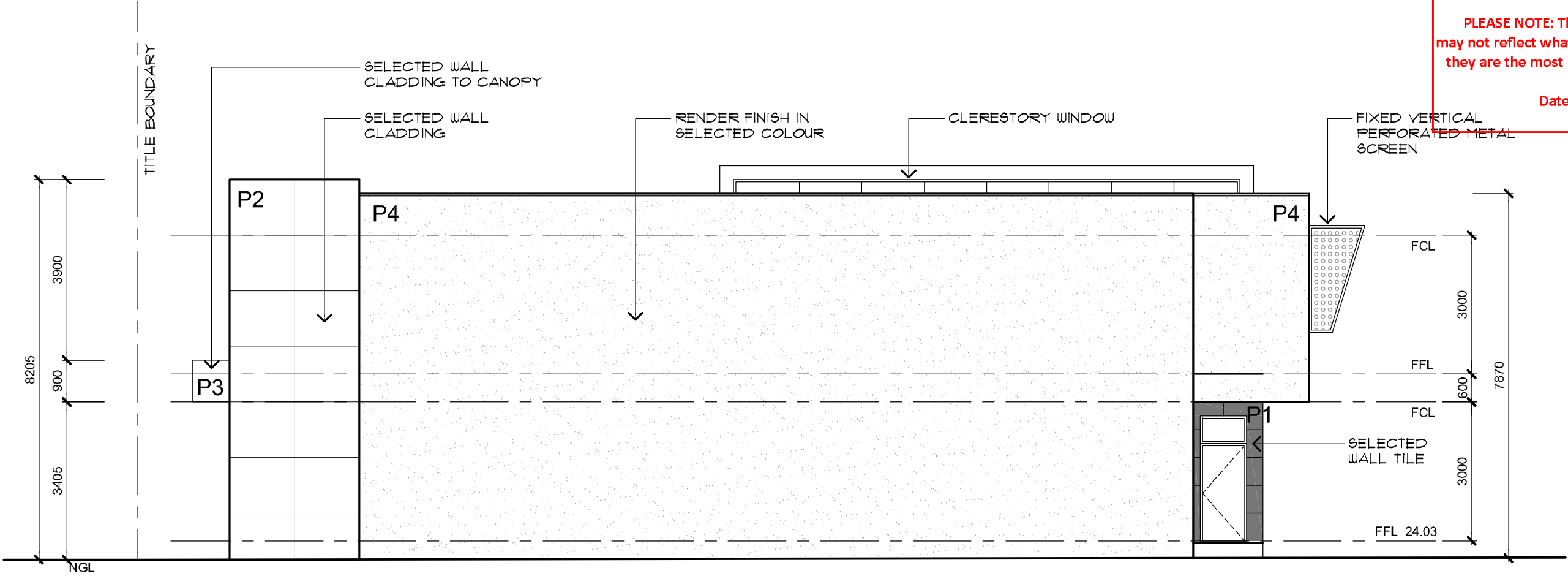
P2
VITRACORE G2 CLADDING PANEL
COSMIC TO FRONT AND SIDE
FACADE EXTERNAL WALL AS
INDICATED



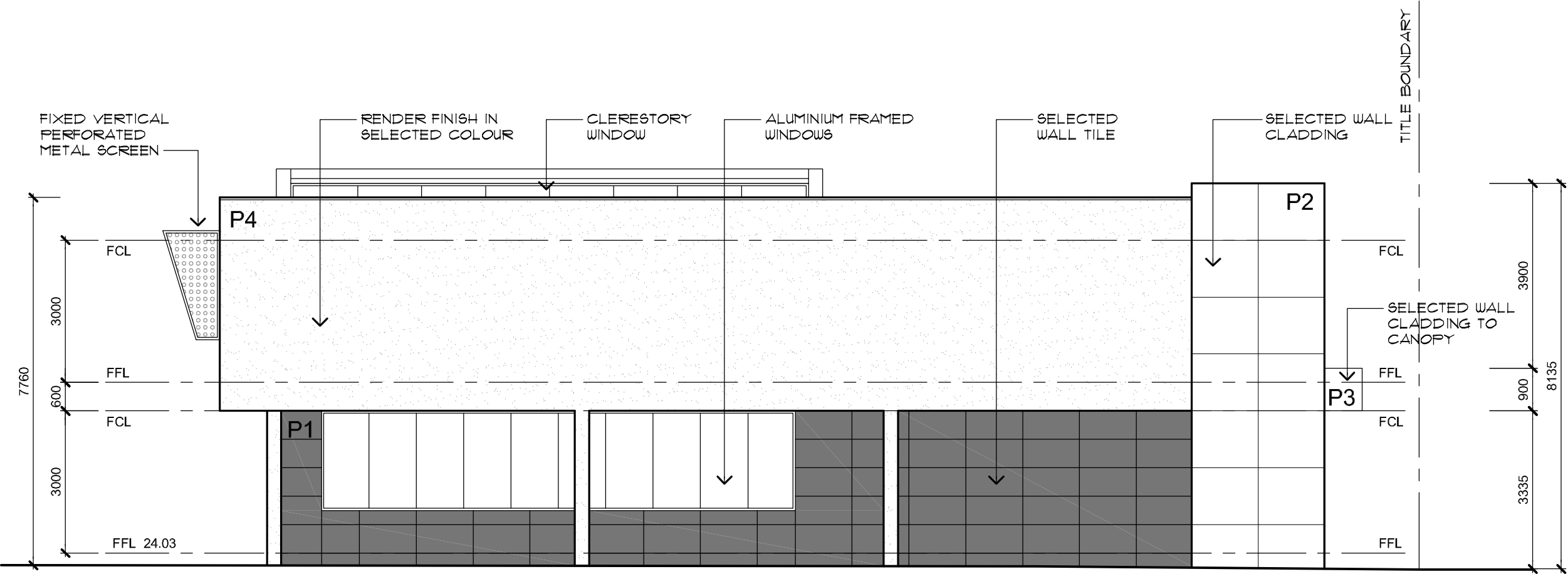
P3
VITRACORE G2 CLADDING PANEL
ASTRO TO FRONT FACADE CANOPY



P4
RENDER FINISH
IN LYTTLETON TO EXTERNAL
WALL AS INDICATED



NORTH-EAST ELEVATION



SOUTH-WEST ELEVATION

ELEVATIONS

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WERRIBEE 3030**

Drawing

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Scale 1:100

Drawn FL

Checked

Amendment No. **A**

Plan: **8 of 8**

PLOT DATE: 20 Feb 2024