

SITE DESCRIPTION

SS: SINGLE STOREY
 TS: TWO STOREY
 TUSD: TWO UNITS SINGLE DWELLING
 BV: BRICK VENEER
 THR: TILED HIP ROOF
 TGR: TILED GABLE ROOF
 TDGR: TILED DUTCH GABLE ROOF
 CFR: COLORBOND FLAT ROOF



POS: PRIVATE OPEN SPACE

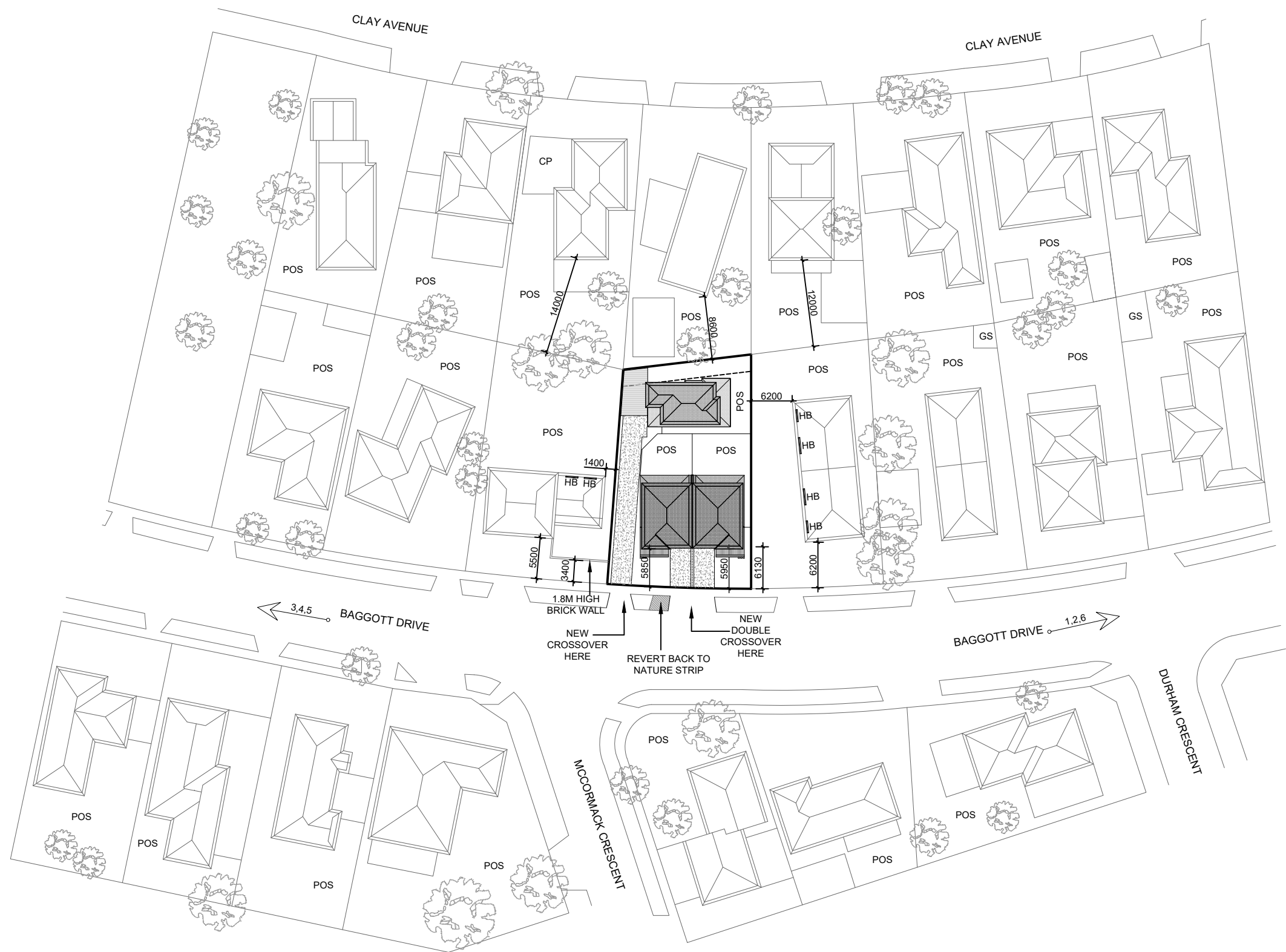
EV: EXISTING VERANDAH
 GS: GARDEN SHED
 CP: CARPORT

X: CROSSOVER
 XX: DOUBLE CROSSOVER
 PP: POWER POLE

HB: HABITABLE WINDOW

SUBJECT SITE HAS 9 x 8m HIGH PALM TREES ON THE REAR OF THE PROPERTY SURROUNDING THE POOL THAT WILL NEED TO BE REMOVED ALONG WITH THE POOL

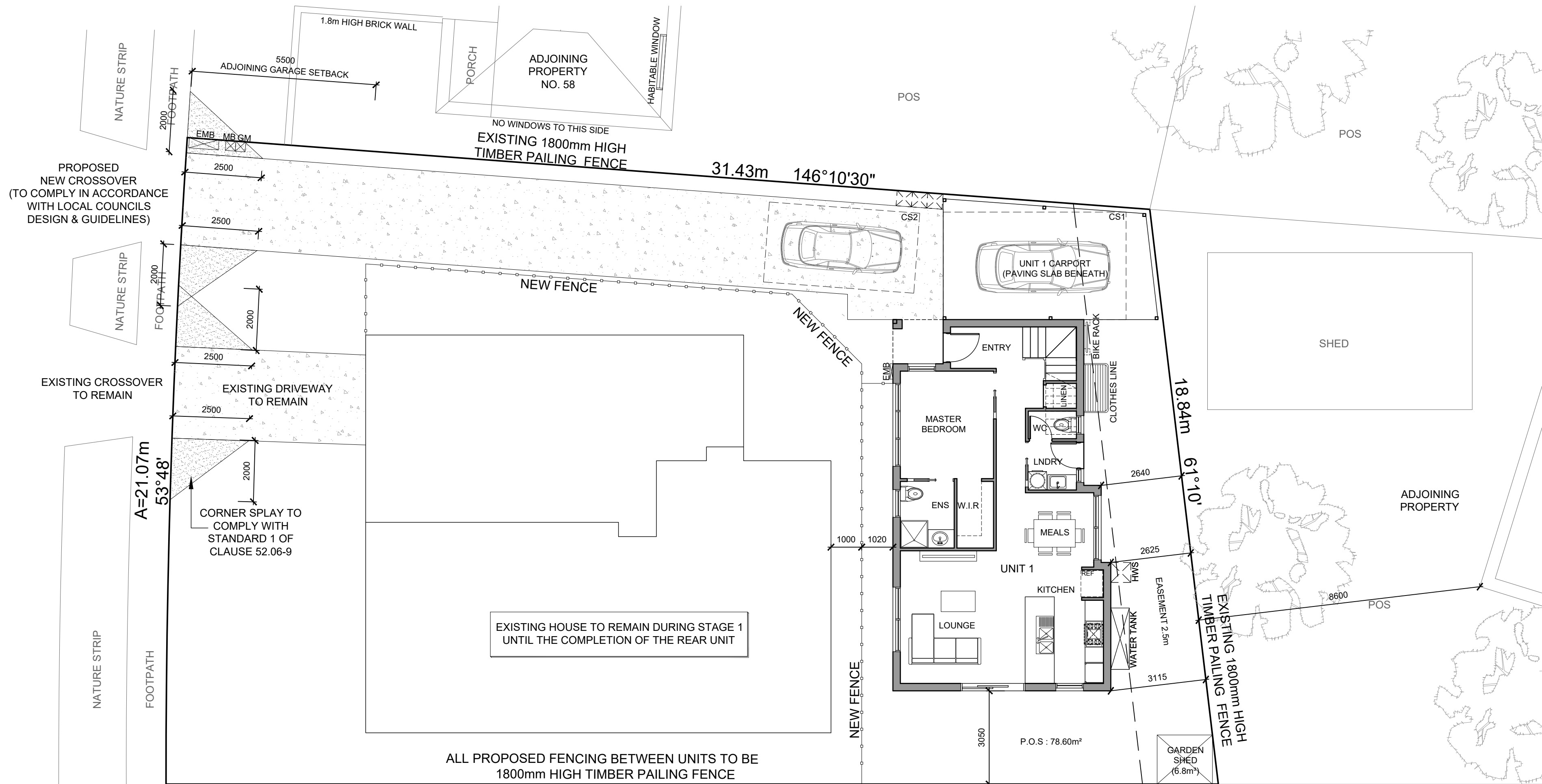
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						Client : Jay		Date : 09/01/2020		Sheet : 1 of 15				
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DESIGN RESPONSE

- 1: 450m TO ST. PETERS PRIMARY SCHOOL
- 2: 700m TO PACIFIC WERRIBEE SHOPPING CENTRE
- 3: 650m TO GOOD LIFE HEALTH CLUB
- 4: 350m TO NEAREST BUS STOP
- 5: 2.1km TO HOPPERS CROSSING TRAIN STATION
- 6: 750m TO MOSSFIEL MEDICAL CENTRE

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STAGE 1 PROPOSED GROUND FLOOR

PROPOSED UNIT 1 GROUND FLOOR: 108m²
SITE AREA: 660m²

MB: MAILBOX
EMB: ELECTRICAL METER BOX
HWS: HOT WATER SYSTEM
GM: GAS METER
WT: 2000L WATER TANK

PROPOSED UNITS TO ACHIEVE A NATHERS ENERGY RATING OF AT LEAST 6.0 STARS (INC. COOLING LOAD OF <30MJ/M2)
- REVERSE CYCLE SPLIT SYSTEM A/C FOR HEATING/COOLING (MEPS COMPLIANT)
- GAS INSTANTANEOUS HOT WATER UNITS (6 STAR)
- LED LIGHTING WITH MAXIMUM DENSITY OF 4W/M2
- MOTION SENSORS FOR MIN. 50% OF EXTERNAL LIGHTING
- 3 STAR WELS 6.0-7.5 L/MINUTE SHOWERHEADS
- 5 STAR WELS KITCHEN TAPS

CS1: CAR SPACE 1 - 6000 x 3500
CS2: CAR SPACE 2 - 4900 x 2600

- 5 STAR WELS BATHROOM TAPS
- 4 STAR WELS TOILETS
- 3 STAR WELS DISHWASHERS
- WATER EFFICIENT PLANT SPECIES
- 2,000L RAINWATER TANK CONNECTED TO ALL TOILETS FOR EACH UNIT
- DOUBLE GLAZING TO ALL BEDROOMS AND LIVING AREAS
- 1 BICYCLE SPACE FOR EACH UNIT
- 1 COMPOST BIN FOR EACH UNIT

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North



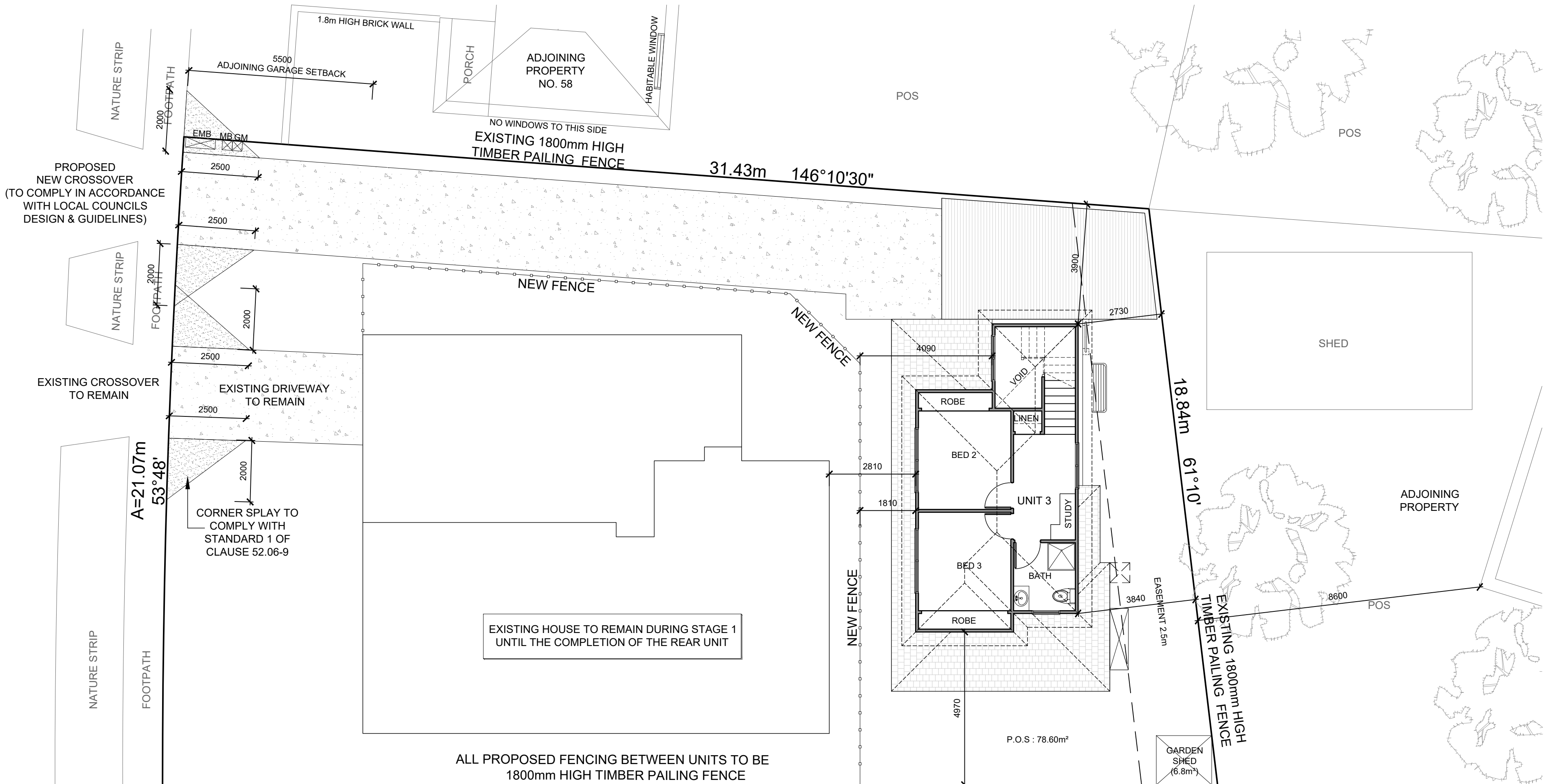
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Hoppers Crossing

Client : Jay

Proposed Construction of 3 New Dwellings

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**STAGE 1
PROPOSED FIRST FLOOR**

PROPOSED UNIT 1 FIRST FLOOR: 46.2m²
SITE AREA: 660m²

- MB: MAILBOX
EMB: ELECTRICAL METER BOX
HWS: HOT WATER SYSTEM
GM: GAS METER
WT: 2000L WATER TANK

- PROPOSED UNITS TO ACHIEVE A NATHERS ENERGY RATING OF AT LEAST 6.0 STARS (INC. COOLING LOAD OF <30MJ/M2)
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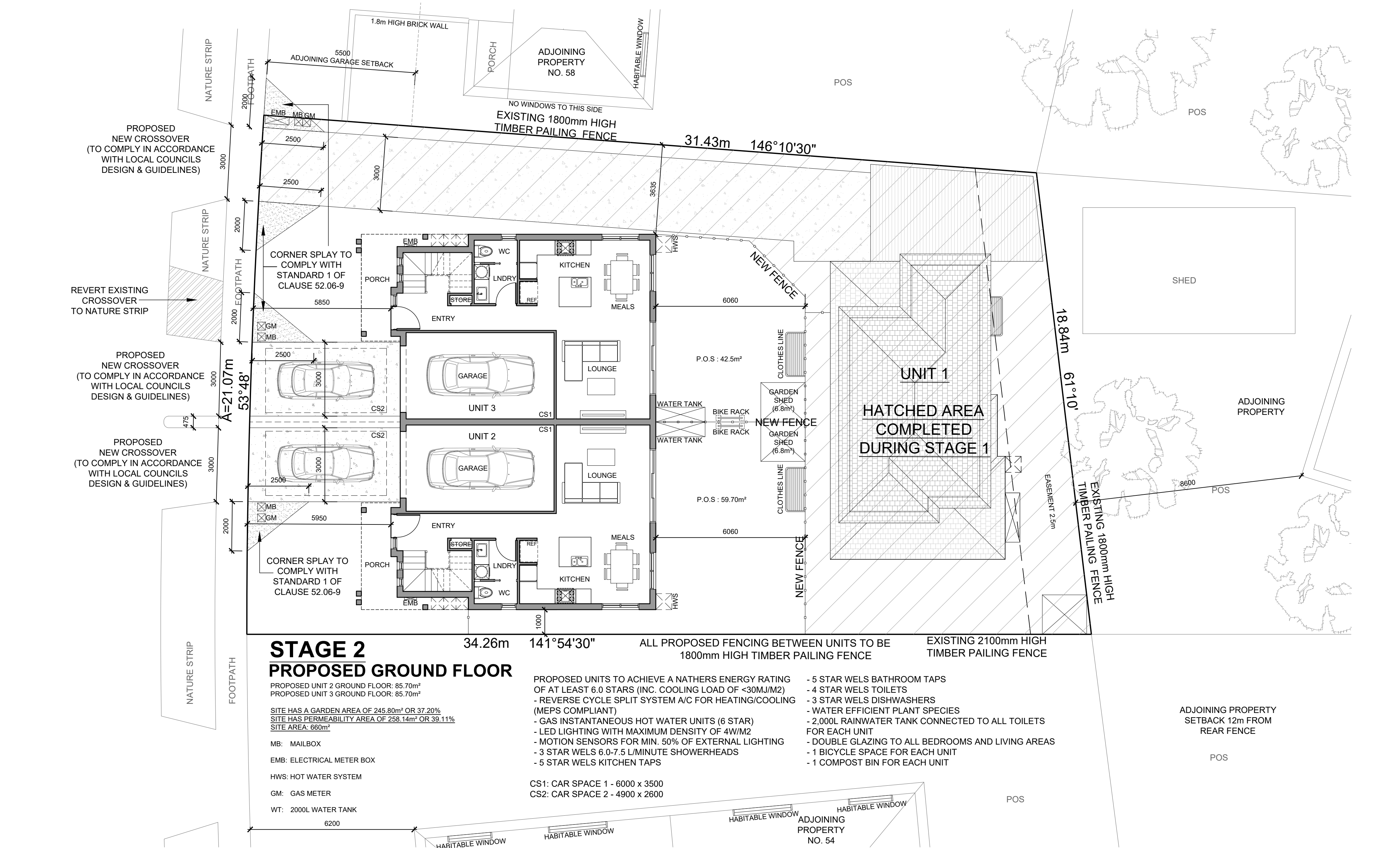
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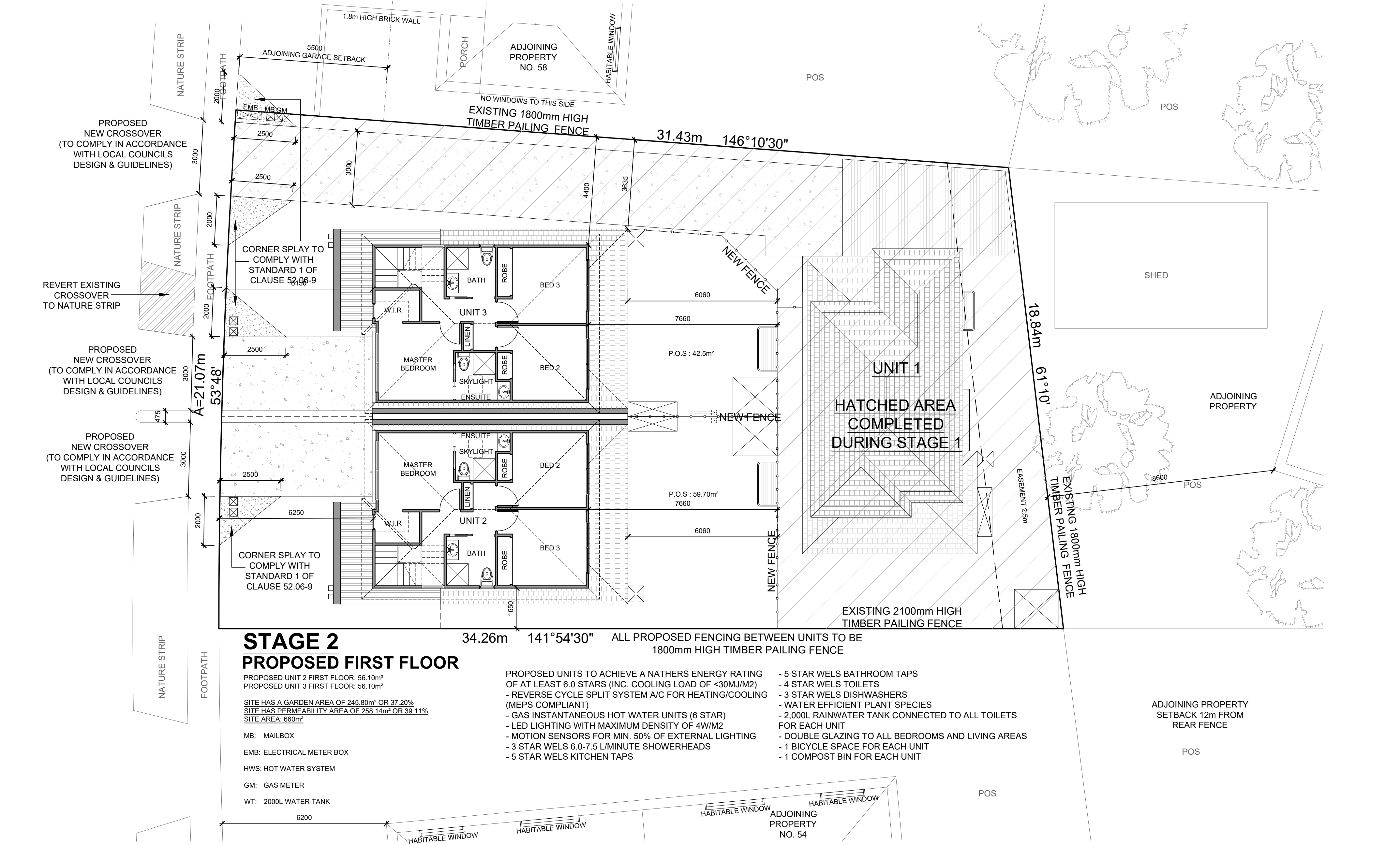
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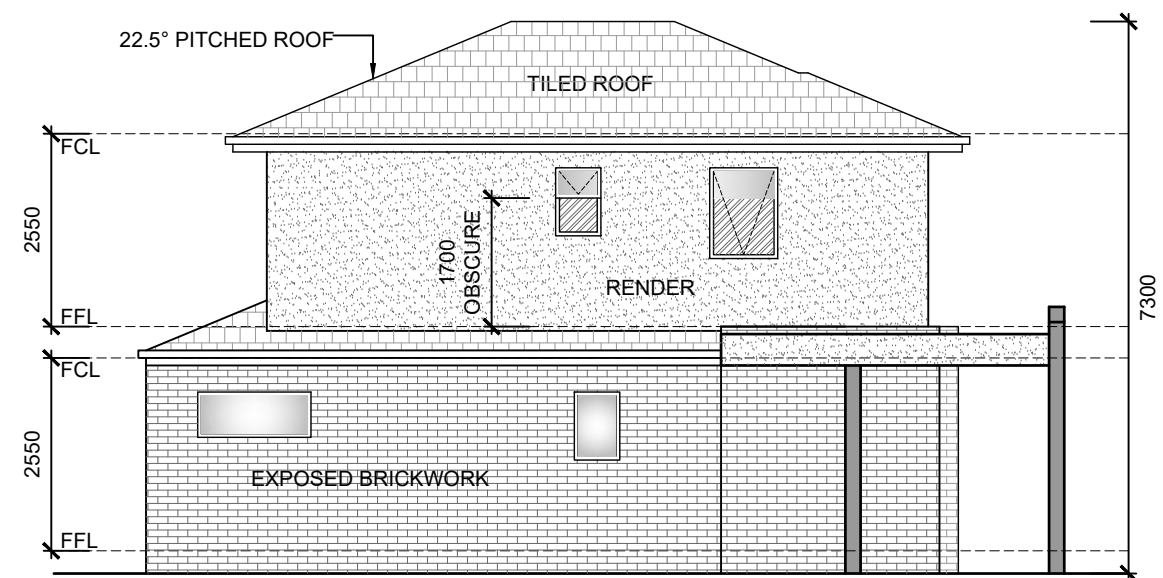
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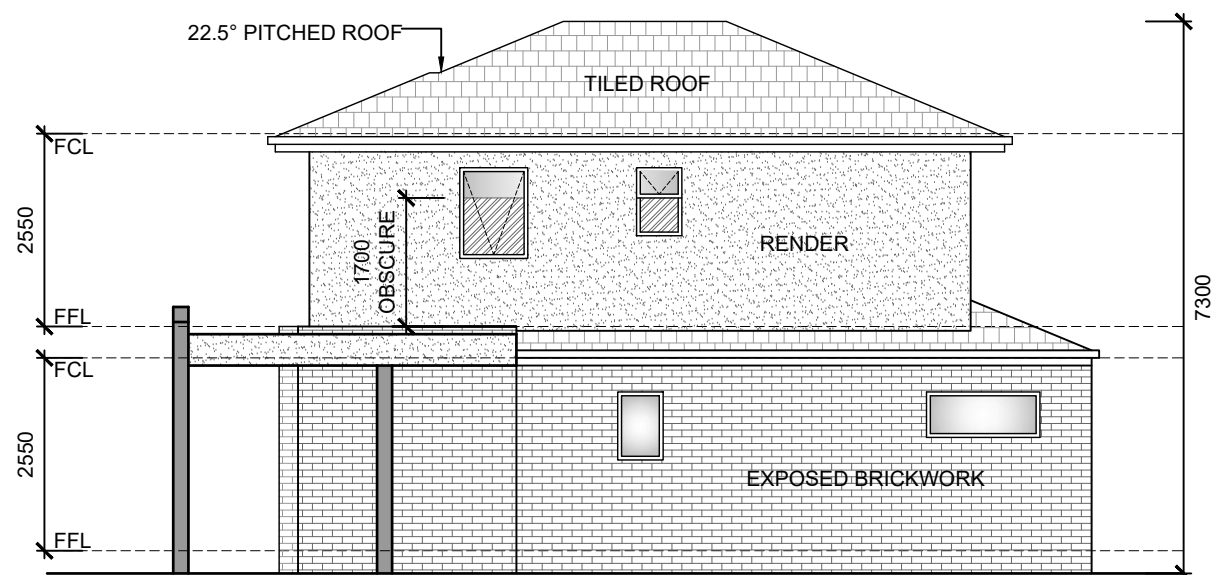
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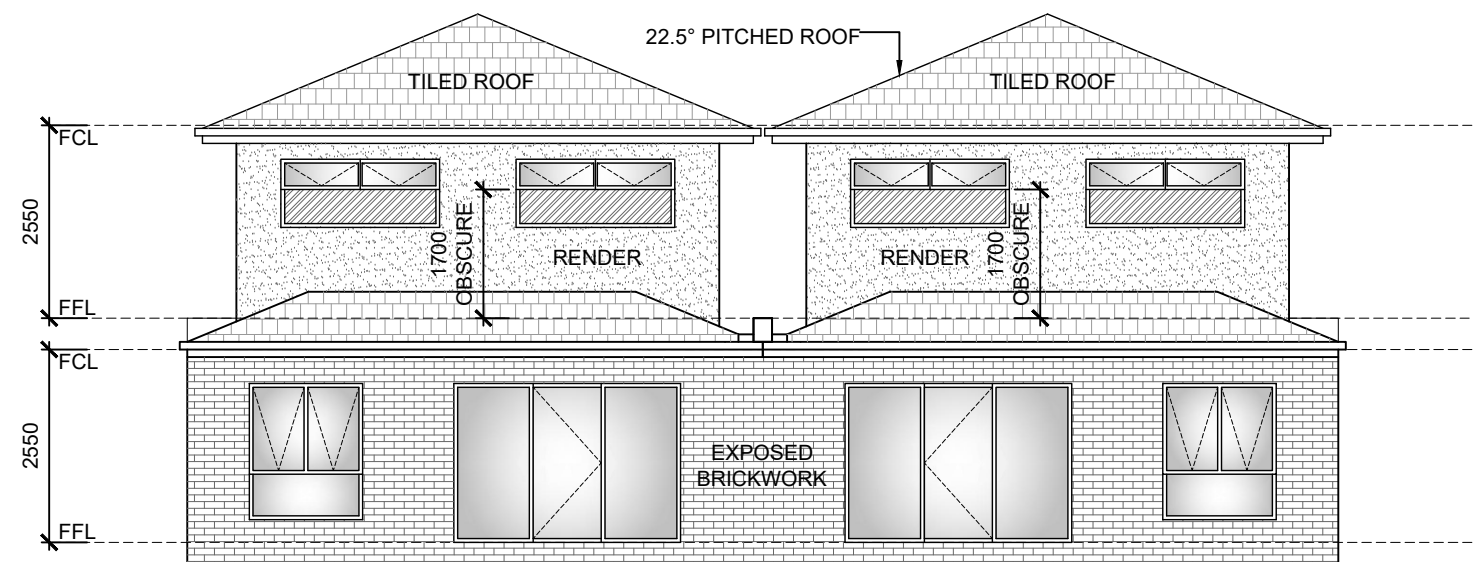
NORTH ELEVATION 1:100




EAST ELEVATION 1:100

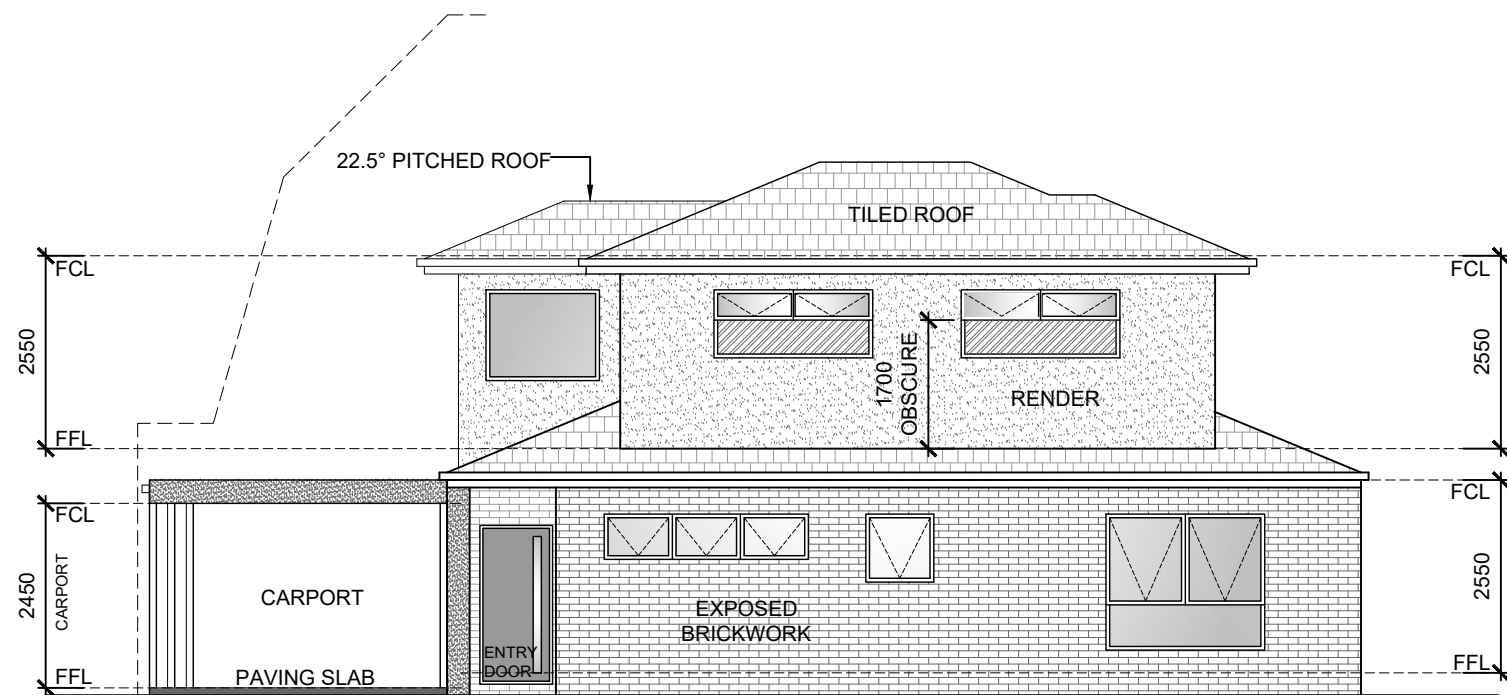


WEST ELEVATION 1:100

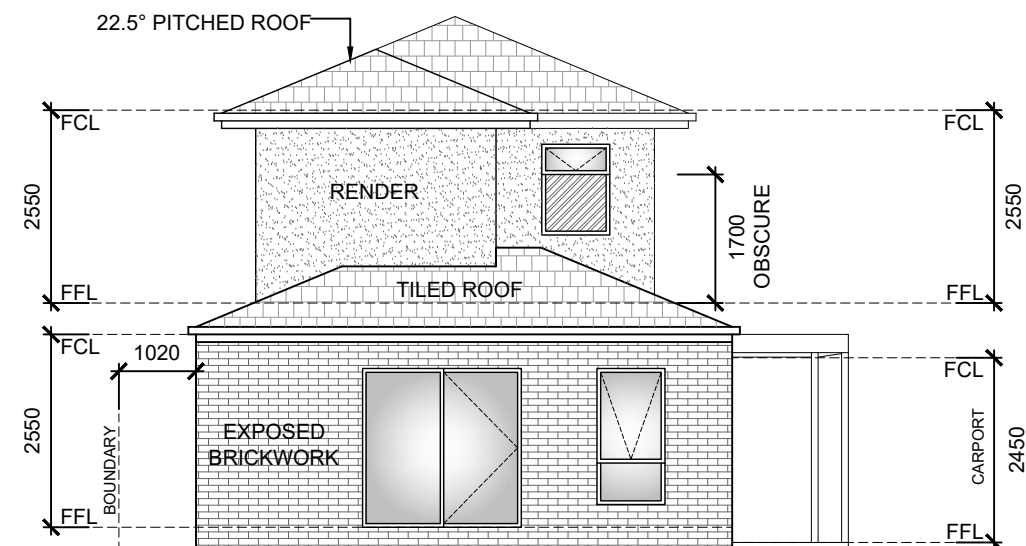


SOUTH ELEVATION 1:100

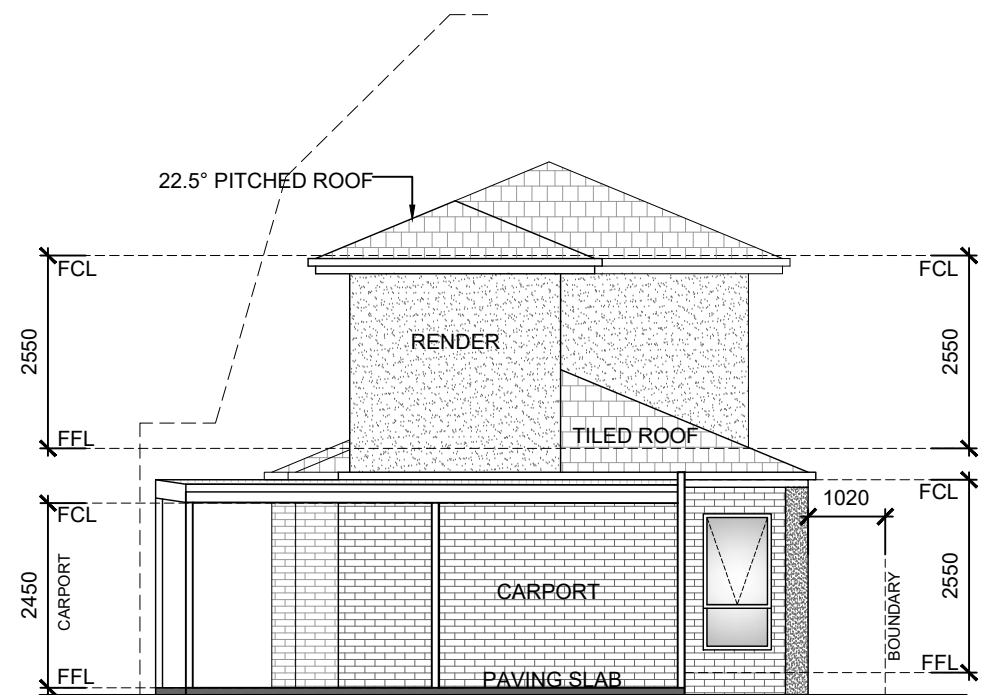
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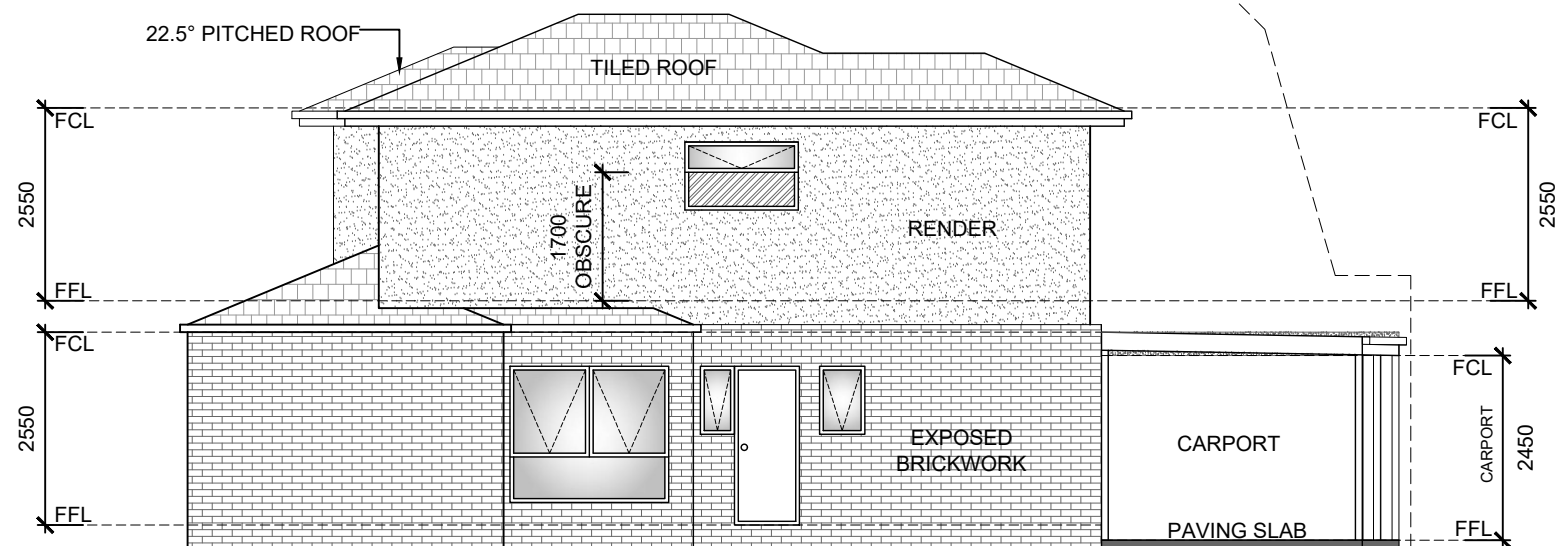
NORTH ELEVATION 1:100




WEST ELEVATION 1:100

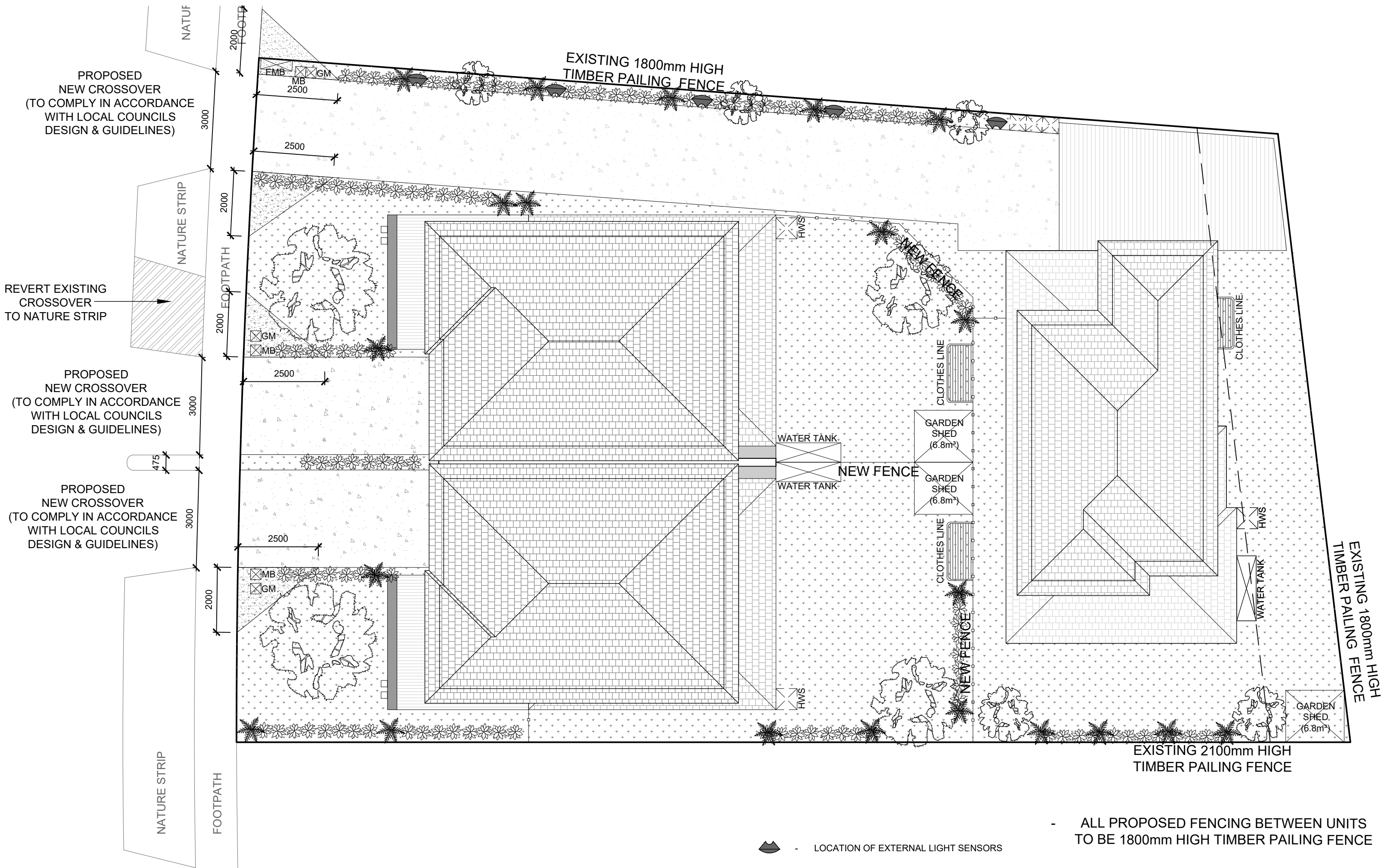


EAST ELEVATION 1:100



SOUTH ELEVATION 1:100

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LANDSCAPE PLAN

N°	BOTANICAL NAME	COMMON NAME	SIZE (HxW)m	POT SIZE Ø(mm)	QUANTITY
1	TREE				
1	EUCALYPTUS LUCOXYLON	EUKY DWARF	6x5	250Ø	2
2	TALL SHRUB				
2	LEPTOSPERMUM LANGERUIA	WOOLLY TEA TREE	3x2	150Ø	2
3	SMALL SHRUB				
3	AGONIS FLEXINUSA NANA	DWARF WILLOW	1x1	100Ø	3
4	DIANELLA LONGIFOLIA X LONGIFOLIA	MYRTLE	.5x.5	75Ø	3
5	GROUND COVERS				
5	BRACHYCOME MULTIFIDIA	ROCK DAISY		50Ø	18
6	VIOLIA HEDERACEA	NATIVE VIOLET		50Ø	18
7	FELICIA AMELLODES	BLUE MARGURERITE		50Ø	10

CANOPY TREES TO BE 1.5m IN HEIGHT AT TIME OF PLANTING
GROUND COVERS TO BE PLANTED EVENLY IN GARDEN BEDS MARKED

SITE HAS A GARDEN AREA OF 245.80m² OR 37.20%
SITE HAS PERMEABILITY AREA OF 258.14m² OR 39.11%
SITE AREA: 660m²

-HOT WATER SYSTEM TO BE MOUNTED TO WALL (INSTANT HEAT UNIT)

PLEASE NOTE : AIR-CONDITIONING AND/OR HEATING UNITS ARE NOT PROPOSED. IF OWNER/S IS TO HAVE INSTALLED, UNITS TO BE LOCATED ON REAR ROOF OF GROUND FLOOR, SO IT IS NOT VISIBLE FROM STREET FRONT

'TUSCAN' TOPPINGS, 100mm THICK, TO BE COMPACTED WITH A HEAVY ROLLER OR VIBRO PLATE

LAWN AREAS WITH 150mm HOED SUB SOIL WITH 100mm TOP SOIL, ADDING GYPSUM AT 1/2kg/m² AND SEED FOR GRASS

LOCATION OF EXTERNAL LIGHT SENSORS

INDICATES GRASSED AREA

ALL GARDEN AREAS TO BE PROVIDED WITH AN ADEQUATE WATERING SYSTEM (DRIPPERS TO BE USED (1 PER PLANT/ 2 PER TREE) & TO BE TIMBER MULCH TO BE PROVIDED

M.B : MAIL BOX

EMB : ELECTRICAL METER BOX

HWS : HOT WATER SYSTEM

GM : GAS METER

- ALL PROPOSED FENCING BETWEEN UNITS TO BE 1800mm HIGH TIMBER PAILING FENCE

INDICATES TREE 1 (REFER TO TABLE FOR FURTHER INFORMATION)

INDICATES TALL SHRUB 2 (REFER TO TABLE FOR FURTHER INFORMATION)

INDICATES SMALL SHRUB 3 (REFER TO TABLE FOR FURTHER INFORMATION)

INDICATES SHRUB 4 (REFER TO TABLE FOR FURTHER INFORMATION)

GROUND COVERS WITHIN GARDEN BEDS (REFER TO TABLE FOR FURTHER INFORMATION)

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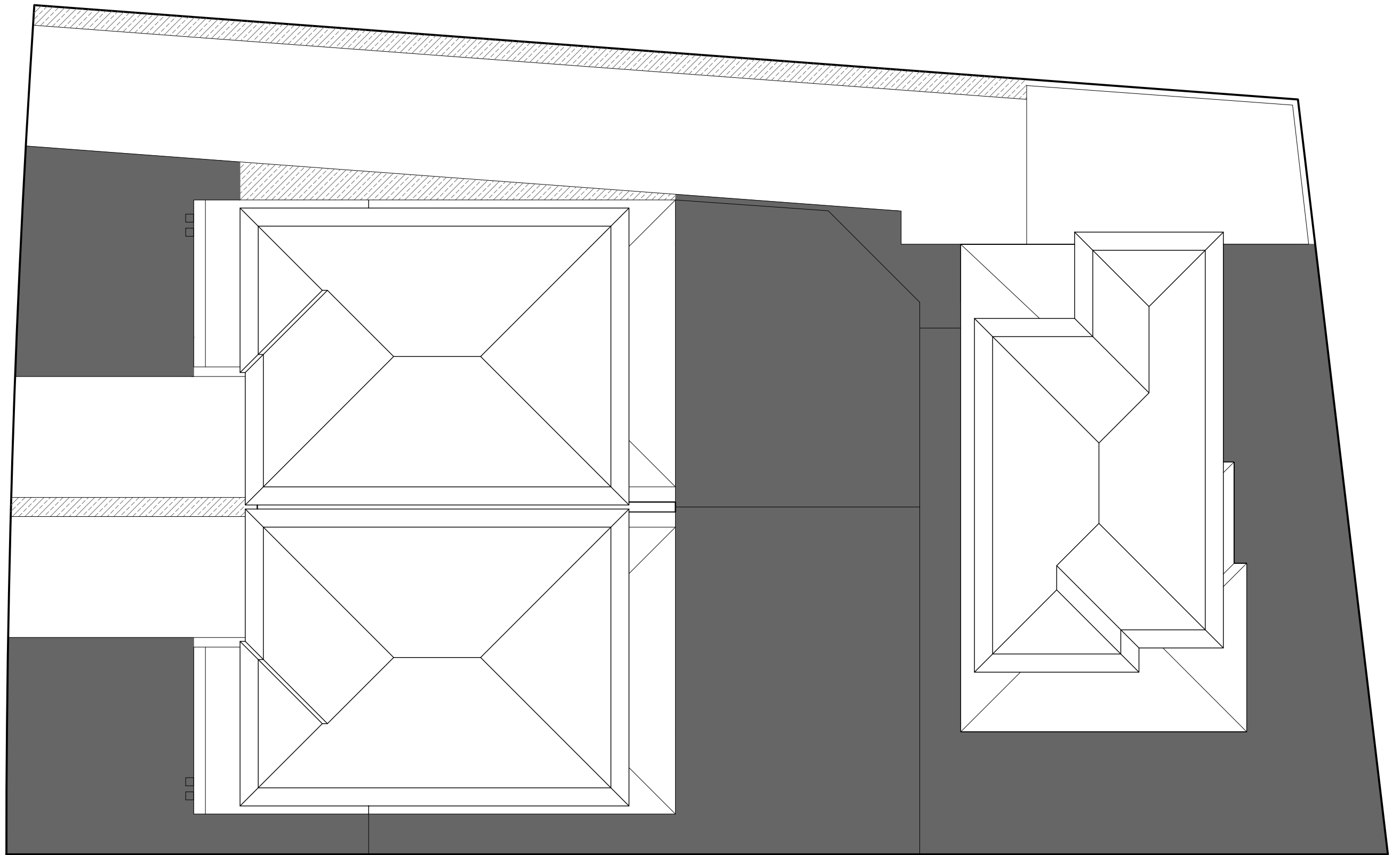
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GARDEN AREA

SHADED AREA INDICATES GARDEN AREAS

SITE HAS A GARDEN AREA OF 245.80m² OR 37.20%

SITE HAS PERMEABILITY AREA OF 258.14m² OR 39.11%



SITE AREA: 660m²

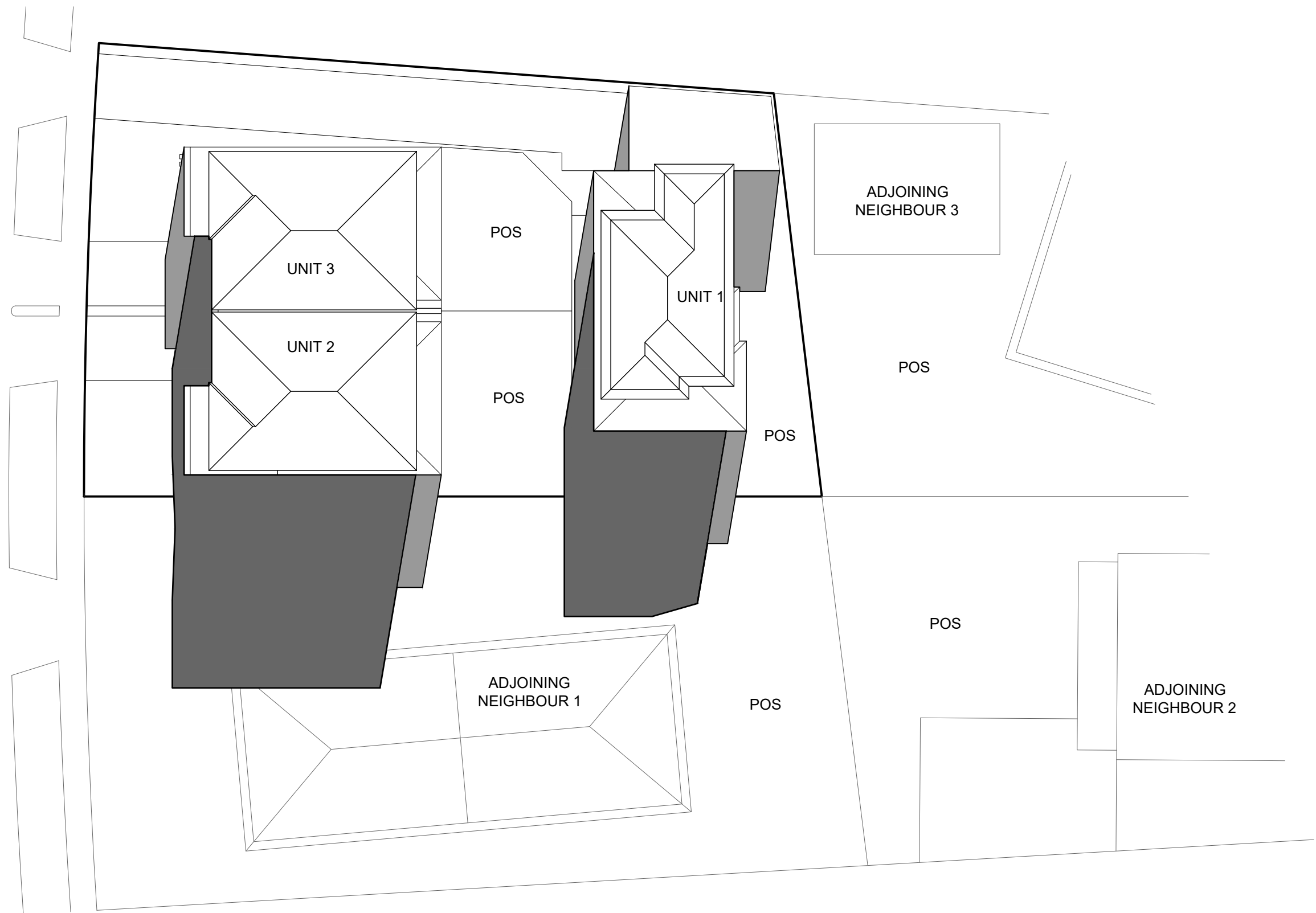


- INDICATES GARDEN AREA AND PERMEABLE AREA



- INDICATES PERMEABLE AREA ONLY

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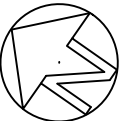


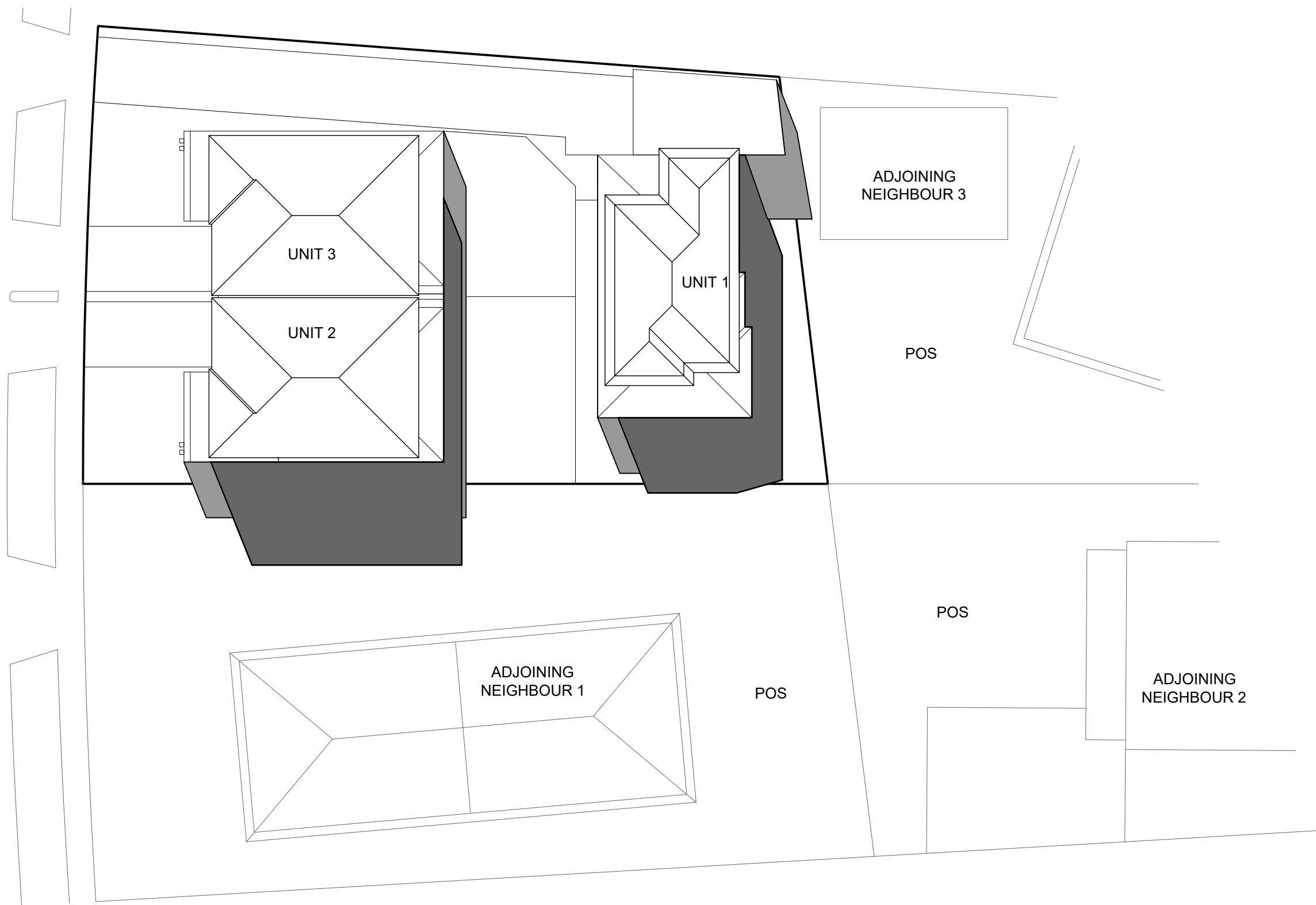
9am SHADOW DIAGRAM

MARCH 20-SEPTEMBER 22 (EQUINOX)
STANDARD TIME
MELBOURNE (LATITUDE 38.0° SOUTH)

UNIT 1 POS UNAFFECTED BY SHADOW : 35.70m²
UNIT 2 POS UNAFFECTED BY SHADOW : 33.30m²
UNIT 3 POS UNAFFECTED BY SHADOW : 50.80m²

ADJOINING NEIGHBOUR 1 POS UNAFFECTED BY SHADOW : 121.90m²
ADJOINING NEIGHBOUR 2 POS UNAFFECTED BY SHADOW : 144.70m²
ADJOINING NEIGHBOUR 3 POS UNAFFECTED BY SHADOW : 164.60m²

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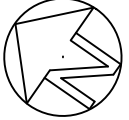


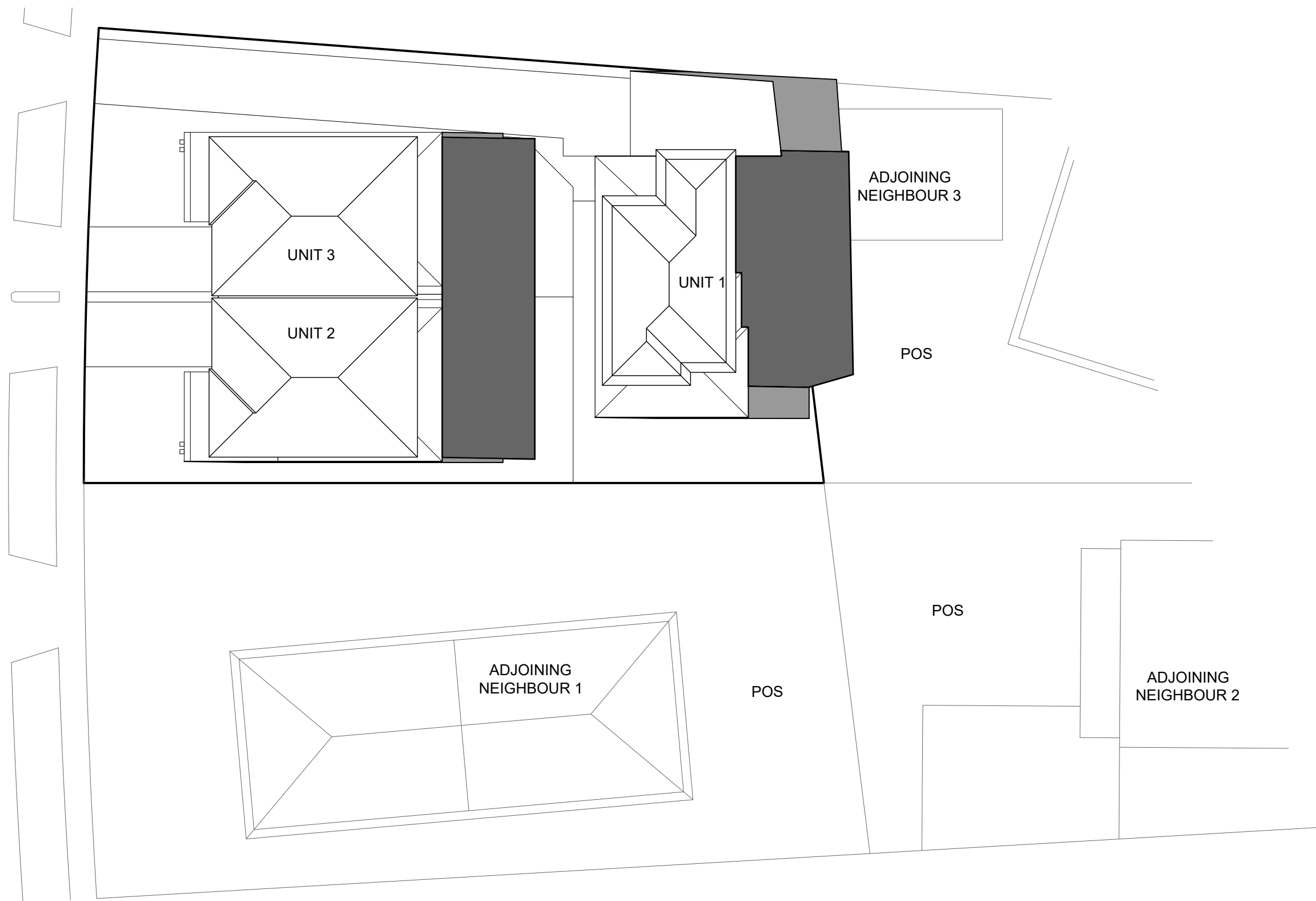
11am SHADOW DIAGRAM

MARCH 20-SEPTEMBER 22 (EQUINOX)
STANDARD TIME
MELBOURNE (LATITUDE 38.0° SOUTH)

UNIT 1 POS UNAFFECTED BY SHADOW : 34.60m²
UNIT 2 POS UNAFFECTED BY SHADOW : 43.40m²
UNIT 3 POS UNAFFECTED BY SHADOW : 36.00m²

ADJOINING NEIGHBOUR 1 POS UNAFFECTED BY SHADOW : 158.60m²
ADJOINING NEIGHBOUR 2 POS UNAFFECTED BY SHADOW : 144.70m²
ADJOINING NEIGHBOUR 3 POS UNAFFECTED BY SHADOW : 164.60m²

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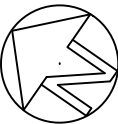


11am SHADOW DIAGRAM

MARCH 20-SEPTEMBER 22 (EQUINOX)
STANDARD TIME
MELBOURNE (LATITUDE 38.0° SOUTH)

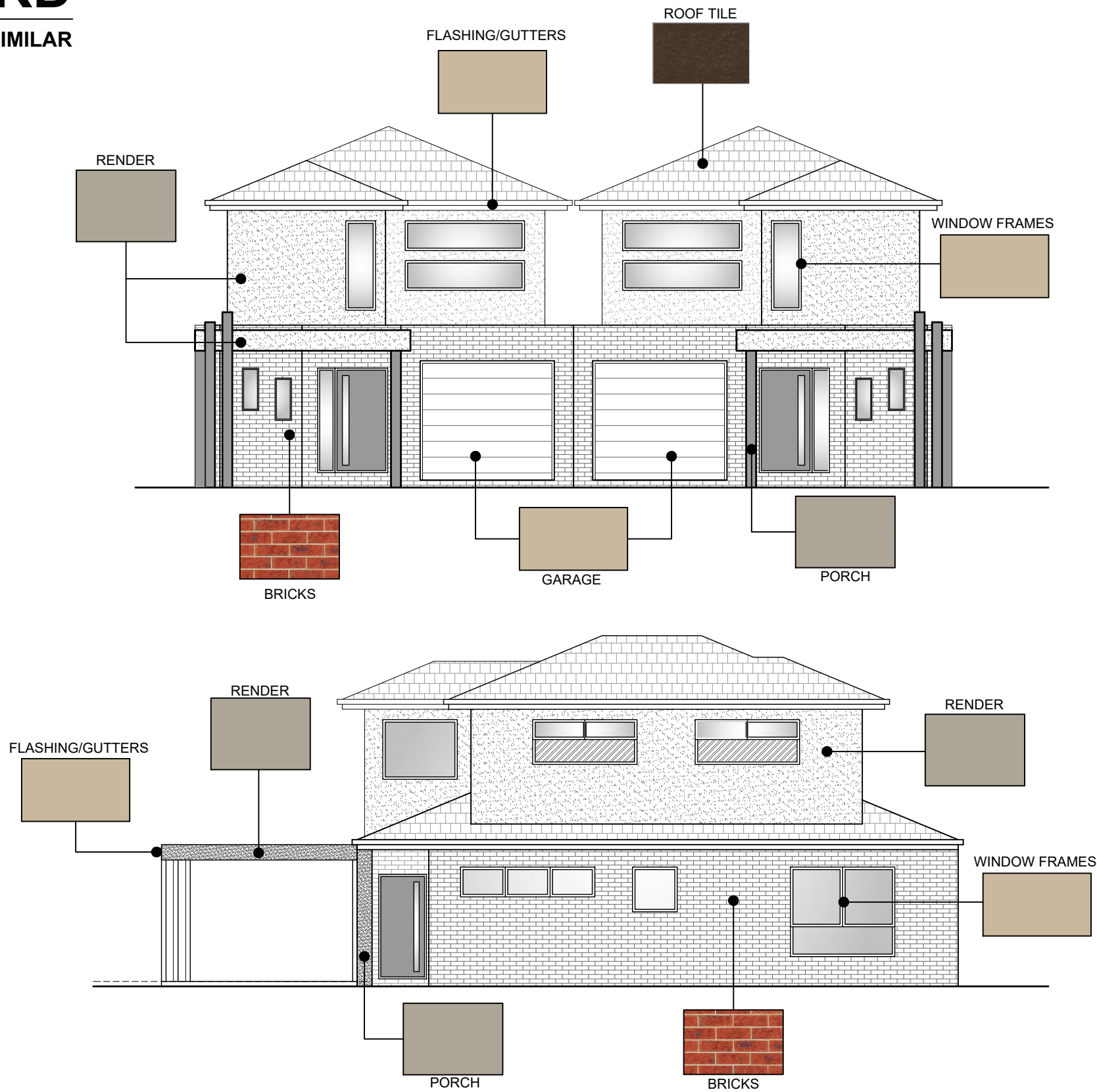
UNIT 1 POS UNAFFECTED BY SHADOW : 45.10m²
UNIT 2 POS UNAFFECTED BY SHADOW : 26.80m²
UNIT 3 POS UNAFFECTED BY SHADOW : 10.50m²

ADJOINING NEIGHBOUR 1 POS UNAFFECTED BY SHADOW : 162.80m²
ADJOINING NEIGHBOUR 2 POS UNAFFECTED BY SHADOW : 144.70m²
ADJOINING NEIGHBOUR 3 POS UNAFFECTED BY SHADOW : 148.80m²

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COLOUR BOARD

ALL FINISHES TO BE AS SHOWN OR SIMILAR



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